

THE CORPORATION OF THE DISTRICT OF CENTRAL SAANICH
Peninsula and Area Agricultural Commission
AGENDA

Tuesday, February 3, 2026, 7:00 p.m.

FH1 Boardroom

1512 Keating Cross Road

Pages

1. CALL TO ORDER

2. ACKNOWLEDGEMENT

We respectfully acknowledge that the land on which we gather is the traditional territory of the W̱SÁNEĆ people which includes W̱JOLEŁP (Tsartlip) and S̱ÁUTW̱ (Tsawout) First Nations.

3. ADOPTION OF AGENDA

3.1 Agenda of the February 3, 2026 Peninsula and Area Agricultural Commission Meeting

Recommendation:

That the agenda of the February 3, 2026 Peninsula and Area Agricultural Commission meeting be approved as circulated.

4. ADOPTION OF MINUTES

4.1 Minutes of the June 12, 2025 Peninsula and Area Agricultural Commission Meeting

Recommendation:

That the minutes of the June 12, 2025 Peninsula and Area Agricultural Commission meeting be adopted as circulated.

3

5. PRESENTATIONS

5.1 Orientation

Presentation by Municipal Staff Liaisons.

6. ELECTION OF CHAIRPERSON, VICE CHAIRPERSON, TREASURER, AND SECRETARY

Annual election of Chairperson, Vice Chairperson, Treasurer and Secretary.

7. REPORTS

7.1 Ministry of Agriculture and Food Report

Verbal report by Megan Halstead, South Island Regional Agrologist on:

- Golden Nematode Regulations Update
- Strengthening Farming Team - AAC Workshop Reminder
- Island Team - Planning for Upcoming Regional Extension Season
- Funding Programs and Upcoming Programs

8. UNFINISHED BUSINESS

9. MOTIONS AND NEW BUSINESS

9.1 Referrals from the District of Saanich

- | | | |
|-------|--|----|
| 9.1.1 | <u>4313 Blenkinsop Rd - REZ00802</u> | 7 |
| | Referral dated November 26, 2025. | |
| 9.1.2 | <u>4225 Blenkinsop Rd – ALR00046</u> | 10 |
| | Referral dated December 23, 2025. | |
| 9.1.3 | <u>3983 Holland Ave & 0 Helmcken Rd – REZ00804</u> | 16 |
| | Referral dated December 23, 2025. | |

9.2 Referrals from the District of Central Saanich

- | | | |
|-------|--|----|
| 9.2.1 | <u>8165 Derrinberg Road – Temporary Use Permit</u> | 19 |
| | Report from the June 9, 2025 Regular Council Meeting. | |
| 9.2.2 | <u>Soil Removal or Deposit Permit Application – 7210 Wallace Drive</u> | 53 |
| | Report from the November 24, 2025 Regular Council Meeting | |
| 9.2.3 | <u>Invitation to Attend: District of Central Saanich Farmers Breakfast – March 3</u> | 80 |
| | Attachment: Invitation | |

10. ADJOURNMENT

Subject to Adoption
Central Saanich Fire Hall
1512 Keating Cross Road, Saanichton
Minutes of the Peninsula & Area Agricultural Commission
Thursday, June 12, 2025 at 7:00 p.m.

PRESENT:

Chair R. Tunnicliffe
L Geggie (Zoom)
T. Michell (Zoom)
D. Williamson

ABSENT:

J. Michell
L. Sluggett
K. Underwood

ATTENDING:

	CRD Representative	N. Brotman
	Deputy Corporate Officer, District of Metchosin	T. Hansen
	South Island Farmers Institute	S. Macdonald
	Council Liaison, District of Central Saanich	N. Paltiel
	Planner, District of Saanich	M. Rose
	Council Liaison, District of North Saanich	S. Stock

1 CALL TO ORDER

a) The Chair called the meeting to order at 7:27 p.m.

2 FIRST NATIONS TERRITORY ACKNOWLEDGEMENT

a) The Chair acknowledged with respect the Indigenous lands on which we do our work.

3 INTRODUCTION OF LATE ITEMS

a) There were no late items presented.

4 APPROVAL OF AGENDA

MOVED BY: D. Williamson

SECONDED BY: L. Geggie

11 That the agenda of the June 12, 2025 Peninsula & Area Agricultural Commission meeting be approved.

CARRIED UNANIMOUSLY

5 ADOPTION OF MINUTES

a) Draft minutes of the Peninsula & Area Agricultural Commission meeting held Thursday May 8, 2025 at 7:00 p.m.

MOVED BY: T. Mitchell

SECONDED BY: D. Williamson

12 That the draft minutes of the Peninsula & Area Agricultural Commission meeting held Thursday, May 8, 2025, be adopted as circulated.

- 12 That the draft minutes of the Peninsula & Area Agricultural Commission meeting held Thursday, May 8, 2025, be adopted as circulated.

CARRIED UNANIMOUSLY

6 REPORTS

a) Chair's Report

- Verbal Update - R. Tunnicliffe

R. Tunnicliffe gave an update that addressed the following:

- Attendance and presentation to the CRD Regional Goose Working Group on negative impacts of geese on farms. PAAC will now be on the agendas as a regular item
- PAAC's role in advocating for Guardians of our Salish Estuaries (GOOSE) and encouraging collaboration between GOOSE and the CRD
- Improving communications between PAAC and member municipalities on agricultural matters
- CSA box subscriptions in the CRD

T. Mitchell joined the meeting at 7:40 p.m.

The commission and liaisons discussed ideas on how to improve communication and collaboration between GOOSE and the CRD.

b) Treasurer's Report

- Verbal Update - J. Michell

R. Tunnicliffe noted that there was no Treasurer's Report this month.

c) Council Liaison Reports

N. Paltiel, Councillor at the District of Central Saanich gave the following update:

- Central Saanich is currently undergoing a Zoning Bylaw update with consultation scheduled this fall
- Looking at removing ALR as a primary use in certain rural zones for protection of trees
- Working on clearing ditches for the winter weather

C. Stock, Councillor at the District of North Saanich gave the following update:

- North Saanich now has a second draft of the Official Community Plan and there has been lots of engagement with residents, developers. The second draft will be brought to the June 16, 2025 Special Meeting of Council
- Update on Sandown land tax revenues

d) South Island Farmers Institute

- Verbal Update - S. Macdonald

The Commission did not discuss this item.

e) Ministry of Agriculture & Food

- Verbal Update – M. Halstead

R. Tunnicliffe noted that she will email out the update from M. Halstead to all the members.

7 **UNFINISHED BUSINESS**a) **Referral from District of Saanich - To Rezone from A-1 Rural to A-2 Rural to allow for a second single family dwelling**

Applicant: Strongitharm Consulting Ltd

Site Address: 5455 Spotts Close

Legal: Lot 2 Section 84 Lake District Plan EPP127177

Folder No.: REZ00788/ALR00045

N. Paltiel left the meeting at 8:09 p.m.

District of Saanich Planner M. Rose gave a brief overview of the application stating that in 2016 the building was a hay storage space and in 2022 a development permit was obtained to make upgrades to the space. This is an enforcement file as they were reported to be using the building as a secondary dwelling. She noted that typically they would not be able to rezone however since this file satisfies the minimum requirements to rezone it is permissible from Saanich's perspective.

The Commission and liaisons sought clarification and commented on the following:

- If the property is on ALR
- Existing land use and if the property is currently being farmed
- Status of the secondary dwelling
- Application status to the ALC
- Maximum permitted size of secondary dwelling units
- The difference between A1 and A2 zoning
- No increased footprint on the land
- Whether square footage of secondary dwelling was expanded
- Secondary dwelling will meet life and safety standards of the *BC Building Code*
- Existing zoning of adjacent properties
- Historical flooding in the area
- Concerns of precedence setting for future requests to the District of Saanich

MOVED BY: R. Tunnicliffe

SECONDED BY: T. Mitchell

13 That the Commission has no objection to the application for the following reasons:

- The land is not arable and is not currently being farmed;
- The secondary dwelling footprint has not increased; and
- The secondary dwelling will meet life and safety standards in the *BC Building Code*.

CARRIED UNANIMOUSLY

b) Terms of Reference review for the Peninsula & Area Agricultural Commission for membership input

- Verbal Update – T. Hansen, Deputy Corporate Officer, District of Metchosin

T. Hansen provided a verbal update stating that all four municipalities have now approved the Terms of Reference and recruitment for new members will begin through the summer and early fall. The Commissions sub-committee will be reviewing the applications as they come in.

R. Tunnicliffe noted that she will provide the former PAAC recruitment write-up to the member municipalities.

8 **MOTIONS AND NEW BUSINESS**

a) Action List

R. Tunncliffe noted that the completed Annual Report should be emailed out to all the member municipalities.

MOVED BY: L. Geggie

SECONDED BY: T. Mitchell

14 That the Peninsula & Area Agricultural Commission circulate the Annual Report to the member municipalities.

CARRIED UNANIMOUSLY

9 **ADJOURNMENT**

a) The meeting adjourned at 8:49 p.m.

CERTIFIED CORRECT

APPROVED AND CONFIRMED

T. Hansen
Deputy Corporate Officer

R. Tunncliffe
Chair

DRAFT



November 26, 2025

Sent via email

Peninsula & Area Agricultural Commission:

Re: Application for Development:

Applicant:
Site Address: 4313 BLENKINSOP RD
Legal: SECTION 51 VICTORIA DISTRICT PARCEL PT S E.
Folder No.: REZ00802
Description: TO REZONE FROM A1 TO SITE SPECIFIC ZONING TO ALLOW TWO (2) SINGLE FAMILY DWELLINGS.

The District of Saanich has received an application for a site within the Peninsula & Area Agricultural Commission area. The Planning Department is referring the proposed plans and relevant information to the Peninsula & Area Agricultural Commission for review and comment. Please note that requested variances may be subject to change based on the Planners detailed review of the file.

In a written letter or email to planning@saanich.ca, please provide your comments and indicate if the Peninsula & Area Agricultural Commission:

- Support the application
- Object to the application
- Have no position on the application

Additional Comments:

We would appreciate receiving your comments by December 22, 2025, so that they can be included in the package that will be forwarded to Council. If you cannot meet this timeframe, please email or call our office to indicate if and when you might be able to respond to the referral.

If you require further information about the proposed development, please contact FIONA TITLEY at fiona.titley@saanich.ca

It is suggested that you periodically check our website, www.saanich.ca *Permit and Development Tracker* as any revised site plans for this application will be posted there.

Sincerely,

A handwritten signature in black ink, appearing to read "F. Titley".

Planner

FT/pk



REFERRAL FORM

Application No. <input type="checkbox"/> DVP – <input checked="" type="checkbox"/> REZ00802	Referral date: November 24, 2025		
	Comments due by: December 22, 2025		
	File Manager: FIONA TITLEY		
	Applicant: STRONGITHARM CONSULTING LTD		
	Owner: Heather and Peter Granger		
Site address: 4313 BLENKINSOP RD			
External Referrals:	Legal: SECTION 51 VICTORIA DISTRICT PARCEL PT S E.		
<input type="checkbox"/> Ministry of Transportation	Current Zone: A-1		
<input type="checkbox"/> Observatory (5 km radius)			
<input type="checkbox"/> BC Transit	Proposed Zone: TBD		
<input type="checkbox"/> School District # 61	Current OCP designation: Rural Area		
<input type="checkbox"/> School District # 63	Required OCP amendment: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<input checked="" type="checkbox"/> Blenkinsop Valley Comm. Association	DP Area: Saanich General		
<input checked="" type="checkbox"/> Peninsula Ag Advisory Comm (PAAC)			
<input checked="" type="checkbox"/> Vancouver Island Health Authority			
Internal Referrals:	Land Comments	SDPA Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Plan Check (LAP)		Heritage Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input type="checkbox"/> Environment		ALR Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
<input checked="" type="checkbox"/> Parks		FIDP Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Development Services	Sign Posting Required: <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input checked="" type="checkbox"/> Housing	Project Description:		
<input type="checkbox"/> Planning Subdivision Tech	TO REZONE FROM A1 TO SITE SPECIFIC ZONING TO ALLOW TWO (2) SINGLE FAMILY DWELLINGS.		
<input checked="" type="checkbox"/> Inspections			
<input checked="" type="checkbox"/> Fire	Project Description Reviewed/Updated <input checked="" type="checkbox"/> Planners Initials FT		
<input type="checkbox"/> Police			
<input type="checkbox"/> Committee			
<input type="checkbox"/> Neighbouring Jurisdictions			
<input checked="" type="checkbox"/> Ag + Food Security Planner			
Departments and Agencies:			
<i>Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to planning@saanich.ca.</i>			
Name:			
Title:		Phone:	
Date:		E-mail:	
Response:			
<input type="checkbox"/> Support – see comments below <input type="checkbox"/> Object – see comments below <input type="checkbox"/> No position – see comments below			
Comments: <i>Add additional page(s) if necessary</i>			

Land Surveying

Building Location Certificate of:

The Southerly 3 Chains
of the Westerly 5 Chains
of Parcel E (DD34291I) of
Section 51, Victoria District

4313 Blenkinsop Road

Parcel Identifier: 009-836-811
in the District of Saanich

Prepared for: Peter Granger

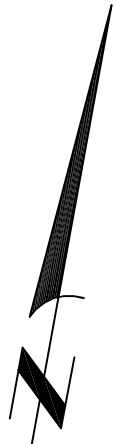
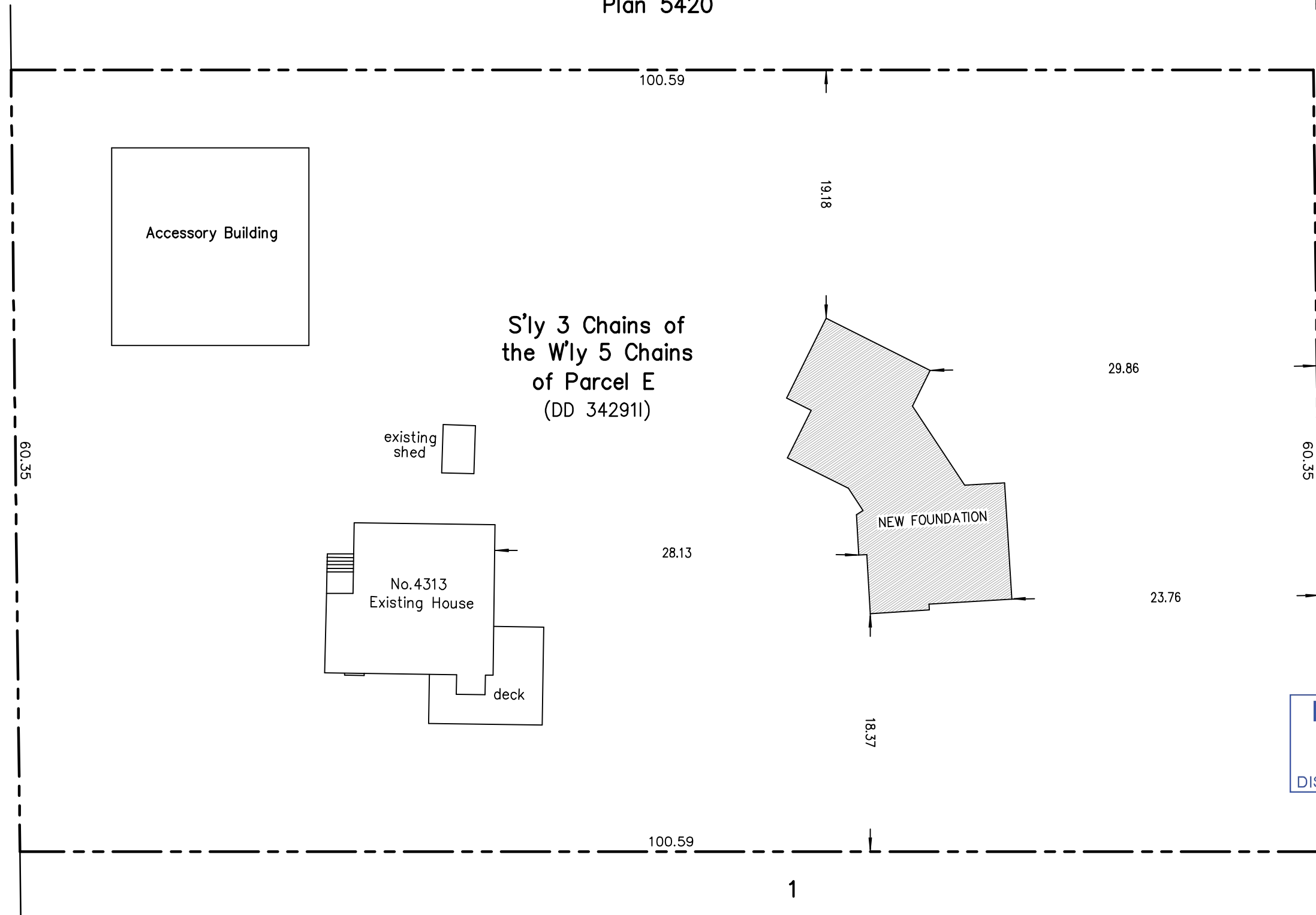
SCALE 1 : 350, Metric
(plot on 17" x 11" sheet)

3
Plan 5420

3
Plan 5420

1
Plan 5984

1
VIP65023



Blenkinsop Road

RECEIVED
Nov 24, 2025
PLANNING DEPT.
DISTRICT OF SAANICH

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This Plan was prepared for Mortgage or Municipal inspection
purposes and is for the exclusive use of our client.
All rights reserved. No person may copy, reproduce, transmit, or alter
this document in whole or in part without the consent of the signatory.
The signatory accepts no responsibility or liability for any damages that
may be suffered by a third party as a result of any decisions made, or
actions taken based on this document.



James Worton, B.C.L.S. ©

This document is not valid unless digitally signed and sealed.
Page 9 of 80

This document shows the relative location of the surveyed structures and
features with respect to the boundaries of the parcel described above.
This document shall not be used to define property lines or property corners.
This building location certificate has been prepared in accordance
with the Professional Reference Manual and is certified
correct this 24th day of July, 2024.



December 23, 2025,

Sent via email

Dear Peninsula & Area Agricultural Association:

RE: Application for Subdivision:

Applicant: MIGUEL MORALES
Site Address: 4225 BLENKINSOP RD.
Legal: STRATA LOT 9 SECTIONS 3, 22 AND 111 LAKE DISTRICT
STRATA PLAN VIS6495
Folder #: ALR00046
Project: AGRICULTURAL LAND RESERVE NON-FARM USE APPLICATION
TO TEMPORARILY INSTALL THREE PORTABLE PADEL
COURTS, AND TWO SEA CANS

An application for subdivision has been received for a site within your Association area. The project is currently being referred to internal departments and external agencies for comment.

We are interested to know if your Association:

- Support the application
- Object to the application
- Have no position on the application

Additional Comments:

We would appreciate receiving your comments in writing or by email to planning@saanich.ca within 21 days, in order for us to consider them during the subdivision review process. If you cannot meet this time frame, please email or call our office to indicate if and when you might be able to respond to the referral.

It is suggested that you periodically check our website, www.saanich.ca *Active Development Applications* as any revised site plans for this application will be posted there.

Sincerely,

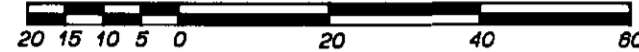
Fiona Titley
Planner
FT/pk



REFERRAL FORM

Application No. <input checked="" type="checkbox"/> ALR – 00046	Referral date: December 19, 2025			
	Comments due by: January 19, 2025			
	File Manager: FIONA TITLEY			
	Applicant: C/O MIGUEL MORALES			
	Owner: MONARCH HOLDINGS LTD. Site address: 4225 BLENKINSOP RD			
External Referrals:	Legal: LOT B SECTION 51 VICTORIA DISTRICT PLAN VIP74216			
<input checked="" type="checkbox"/> Peninsula & Area Ag Comm (PAAC)	Current Zone: SPL A-1/ P-4			
<input type="checkbox"/> Ministry of Transportation	Proposed Zone: N/A			
<input type="checkbox"/> Observatory (5 km radius)	Current OCP designation: Rural			
<input type="checkbox"/> BC Transit	Required OCP amendment: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<input type="checkbox"/> School District # 61	DP Area: BLENKINSOP			
<input type="checkbox"/> School District # 63				
<input checked="" type="checkbox"/> Blenkinsop Valley Comm Assoc				
Internal Referrals:	Land Comments	SDPA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
		Heritage	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
		ALR	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
		FIDP	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<input type="checkbox"/> Plan Check (LAP)	Sign Posting Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<input type="checkbox"/> Environment	Project Description: AGRICULTURAL LAND RESERVE NON-FARM USE APPLICATION TO TEMPORARILY INSTALL THREE PORTABLE PADEL COURTS, AND TWO SEA CANS (RECEPTION AND PRO-SHOP/STORAGE).			
<input type="checkbox"/> Parks				
<input type="checkbox"/> Development Services				
<input type="checkbox"/> Police				
<input checked="" type="checkbox"/> Inspections				
<input checked="" type="checkbox"/> Fire				
<input checked="" type="checkbox"/> Tiana Solares (Recreation)	Project Description Reviewed/Updated <input checked="" type="checkbox"/> Planners Initials FT			
<input checked="" type="checkbox"/> Ag + Food Security Planner (Molly)				
Departments and Agencies: <i>Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to planning@saanich.ca.</i>				
Name:				
Title:		Phone:		
Date:		E-mail:		
Response: <input type="checkbox"/> Support – see comments below <input type="checkbox"/> Object – see comments below <input type="checkbox"/> No position – see comments below				
Comments: <i>Add additional page(s) if necessary</i>				

PLAN OF SUBDIVISION OF
LOT 1, PLAN 24548,
SECTION 51, VICTORIA DISTRICT
AND THAT PART OF PARCEL H (DD 41144I)
OF SECTION 51, VICTORIA DISTRICT,
SHOWN OUTLINED IN RED ON PLAN 575R,
EXCEPT THAT PART IN PLANS 8518 AND 24548

B.C.G.S. 92B.044
 Scale - 1:1000 All Distances are in Metres.


LEGEND
 This plan lies within Integrated Survey Area No. 30
 The Corporation of the District of Saanich
 Grid Bearings are derived from OCM 79H1175 & OCM 79H1200
 This plan shows ground level measured distances. Prior
 to computation of U.T.M. co-ordinates multiply by
 an average combined factor of 0.9986027 (Nad 83 - C.S.R.S.)
 (C) Denotes Control Monument found.
 (S) Denotes standard iron post found
 (O) Denotes standard iron post placed
 Ha Denotes hectares

PLAN VIP **74216**

Deposited in the Land Title Office at
 Victoria, B.C.
 This 12 day of September, 2002

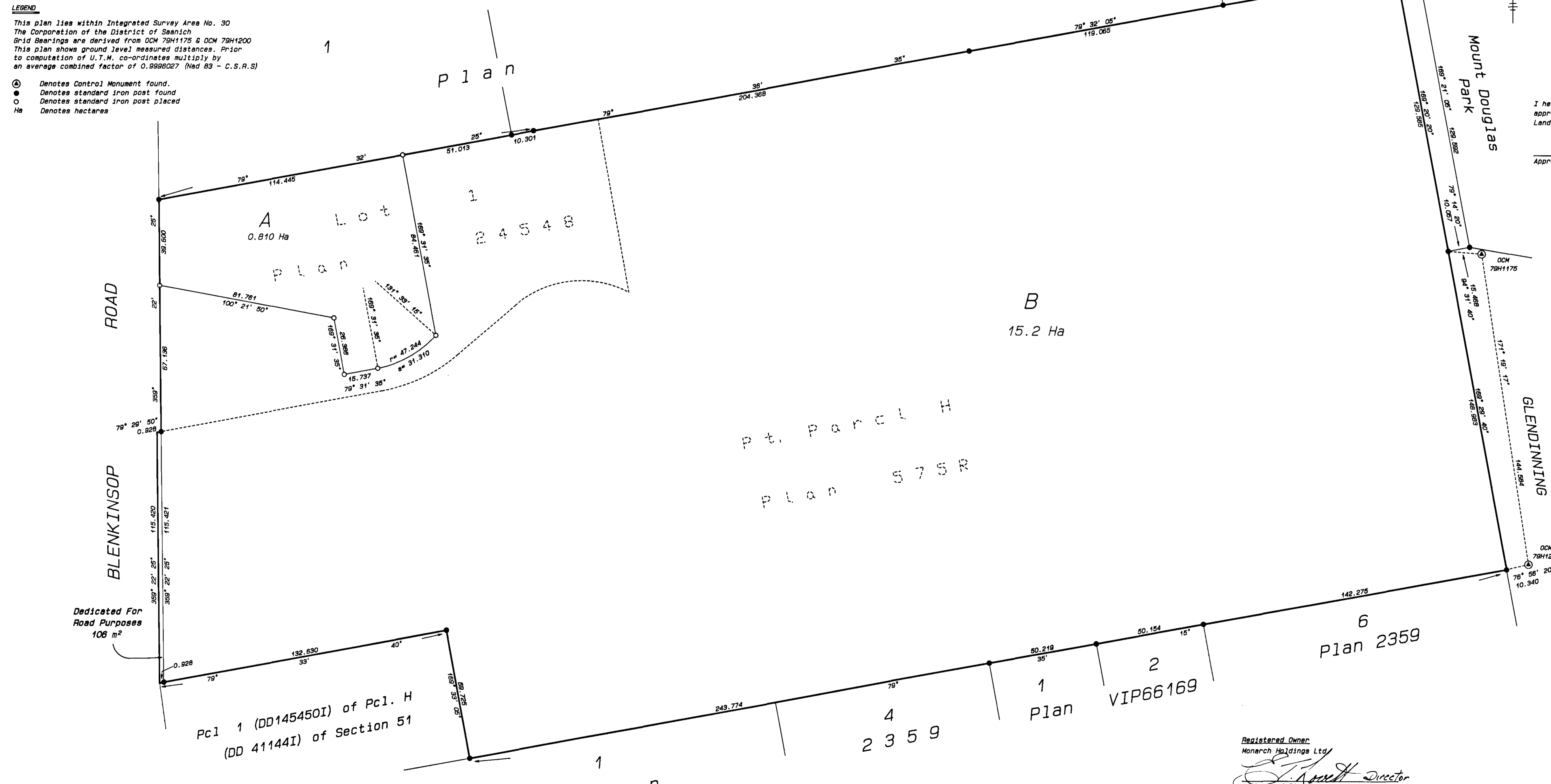
[Signature]
 Deputy Registrar
 E7104563

Approved under the Land Title Act.
 This 27 day of August, 2002

[Signature]
 Approving Officer
 Corporation of the District of Saanich

I hereby certify that this subdivision plan is
 approved under Section 2 (b) of the Agricultural
 Land Reserve Subdivision and Land Use Regulations

[Signature]
 Approving Authority



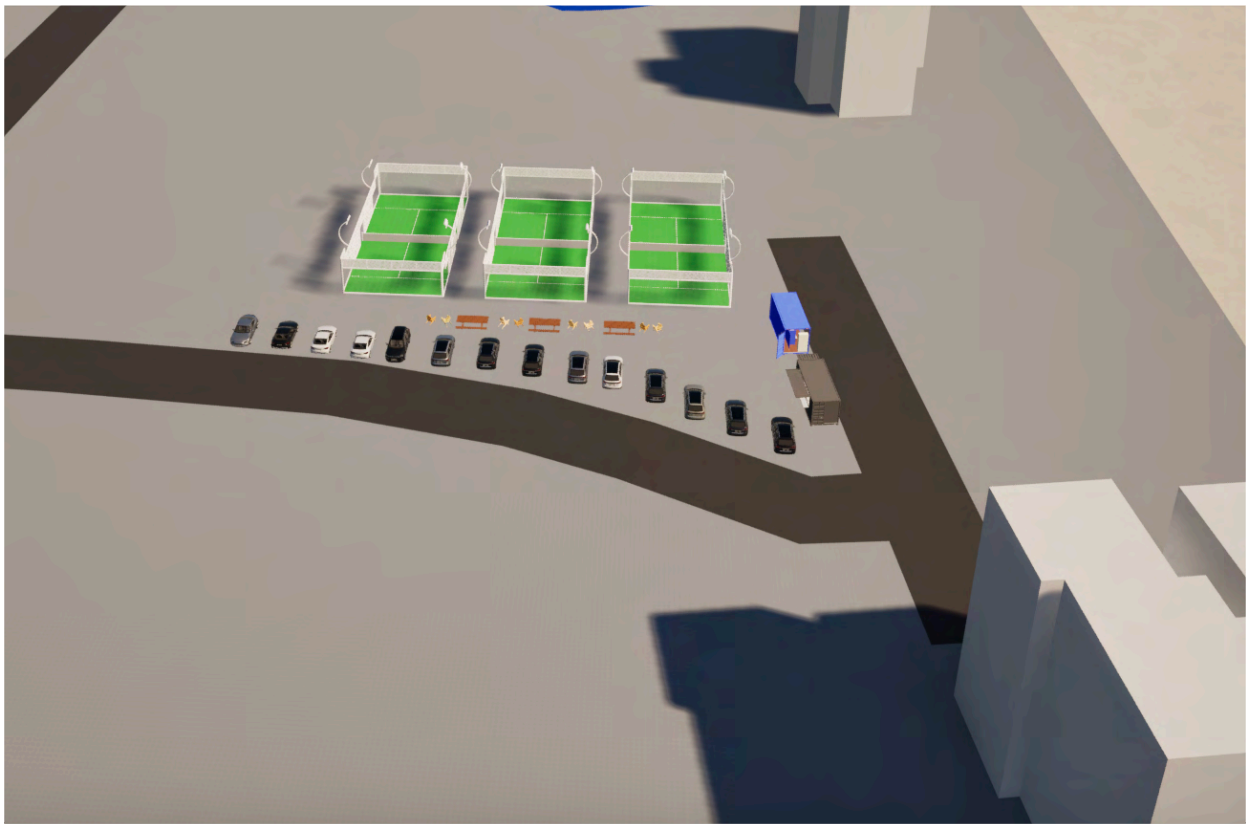
MICHAEL E. CLAXTON
 B.C. & CANADA LANDS SURVEYOR
 UNIT 804-4223 COMMERCE CENTRE
 VICTORIA, B.C. V8Z6N6
 PHONE 479-2259 FAX 479-3931
 FILE: 01-14878.sud

Registered Owner
 Monarch Holdings Ltd
[Signature] Director
 Authorized Signatory
[Signature] Director
 Authorized Signatory
 MICHAEL E. CLAXTON
 Witness
 Land Surveyor
 Occupation
 Victoria, B.C.
 Address

I, Michael E. Claxton, British Columbia Land Surveyor
 of Victoria, in British Columbia, certify that I was
 present at and personally superintended the survey
 represented by this plan and that the survey and
 plan are correct.
 The survey was completed on the 02 day
 of January, 2002
[Signature]
 B.C.L.S.

This plan lies within the Capital Regional District.





**B.C. Land Surveyor's Site Plan of a portion of
Lot B, Section 51,
Victoria District, Plan VIP74216,
Showing Proposed Padel Court on Lot B, Plan VIP74216.**

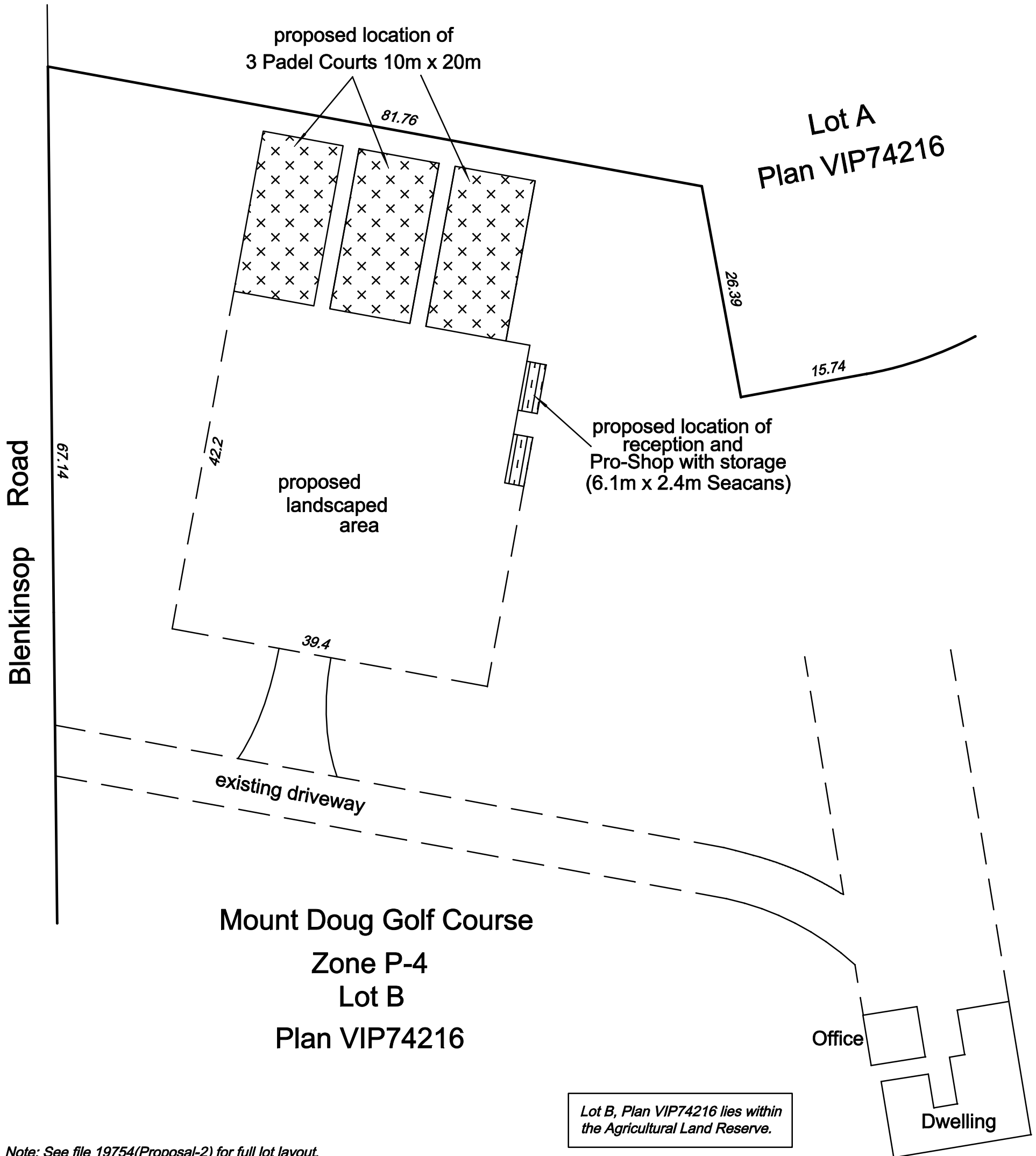
Scale 1:500



All distances are in metres.
Lot dimensions derived from registered plans.

CIVIC ADDRESS: 4225 Blenkinsop Road, Victoria B.C.

P.I.D. 025-484-761



Lot B, Plan VIP74216 lies within the Agricultural Land Reserve.

Note: See file 19754(Proposal-2) for full lot layout.
December 16, 2025

MICHAEL CLAXTON
LAND SURVEYING INC.

B.C. & Canada Lands Surveyor
Unit 80A 4223 Commerce Circle
Victoria, B.C. V8Z-6N6
Phone: 250-479-2258 Fax: 250-479-3831
Email: surveys@hilbre.ca

File: 19754(Proposal-2A)

The signatory accepts no responsibility for any damages as a result of reproduction, transmission or alteration to this document without consent of the signatory.

This plan was prepared for municipal purposes and is for the exclusive use of our client.



December 23, 2025,

Sent via email

Peninsula & Area Agricultural Commission:

Re: Application for Development:

Applicant: MOLTO BENE ENTERPRISES
Site Address: 0 BLUE RIDGE RD
 3983 HOLLAND AVE
Legal: LOT 4 BLOCK H SECTION 9 LAKE DISTRICT PLAN 361 THAT PART OF
 LOT 4, LYING TO THE SOUTH WEST OF THE PRODUCTION
 SOUTHEASTERLY OF THE NORTH EASTERLY BOUNDARY OF LOT 2,
 PLAN 5820 EXCEPT PART IN PLAN 36062.
 LOT 2 SECTION 9 ESQUIMALT DISTRICT PLAN 5820
Folder No.: REZ00804
Description: TO REZONE FROM A-1 TO TBD ZONE TO BUILD 17 UNIT TOWNHOMES

The District of Saanich has received an application for a site within the Peninsula & Area Agricultural Commission area. The Planning Department is referring the proposed plans and relevant information to the Peninsula & Area Agricultural Commission for review and comment. Please note that requested variances may be subject to change based on the Planners detailed review of the file.

In a written letter or email to planning@saanich.ca, please provide your comments and indicate if the Peninsula & Area Agricultural Commission:

- Support the application
- Object to the application
- Have no position on the application

Additional Comments:

We would appreciate receiving your comments by January 27, 2026, so that they can be included in the package that will be forwarded to Council. If you cannot meet this timeframe, please email or call our office to indicate if and when you might be able to respond to the referral.

If you require further information about the proposed development, please contact PHIL PRELL at phil.prell@saanich.ca

It is suggested that you periodically check our website, www.saanich.ca *Permit and Development Tracker* as any revised site plans for this application will be posted there.

Sincerely,

Planner
PP/pk



REFERRAL FORM

Bluebeam Session ID: 883-463-061

<https://studio.bluebeam.com/hyperlink.html?link=studio.bluebeam.com/sessions/883-463-061>

Application No. <input type="checkbox"/> DPR – <input type="checkbox"/> DPA – <input type="checkbox"/> DVP – <input type="checkbox"/> REZ00804 <input type="checkbox"/> TUP –	Referral date: 12/16/25			
	Comments due by: 1/20/26			
	File Manager: PHIL PRELL			
	Applicant: MOLTO BENE ENTERPRISES			
	Owner: Jaisen and Reema Patel			
	Site address: 3983 HOLLAND AVE			
External Referrals:	Legal: LOT 2 SECTION 9 ESQUIMALT DISTRICT PLAN 5820			
<input type="checkbox"/> Ministry of Transportation				
<input checked="" type="checkbox"/> Observatory (5 km radius)	Current Zone: A-1			
<input checked="" type="checkbox"/> BC Transit	Proposed Zone: TBD			
<input checked="" type="checkbox"/> School District # 61	Current OCP designation: Neighbourhood			
<input type="checkbox"/> School District # 63	Required OCP amendment: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<input checked="" type="checkbox"/> Carey Area Resident Association	DP Area: Saanich General			
<input checked="" type="checkbox"/> Peninsula Ag Advisory Comm (PAAC)				
Internal Referrals:	Land Comments	SDPA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Plan Check (LAP)		Heritage	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<input type="checkbox"/> Environment		ALR	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Parks		FIDP	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Development Services		Sign Posting Required: <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input checked="" type="checkbox"/> Housing	Project Description:			
<input checked="" type="checkbox"/> Planning Subdivision Tech	TO REZONE FROM A-1 TO TBD ZONE TO BUILD 17 UNIT			
<input checked="" type="checkbox"/> Inspections	TOWNHOMES			
<input checked="" type="checkbox"/> Fire				
<input type="checkbox"/> Police				
<input type="checkbox"/> Committee	Project Description Reviewed/Updated <input checked="" type="checkbox"/>			Planners Initials PP
<input type="checkbox"/> Neighbouring Jurisdictions				
<input type="checkbox"/>				
Departments and Agencies:				
<i>Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to planning@saanich.ca.</i>				
Name:				
Title:		Phone:		
Date:		E-mail:		
Response:				
<input type="checkbox"/> Support – see comments below <input type="checkbox"/> Object – see comments below <input type="checkbox"/> No position – see comments below				
Comments: Add additional page(s) if necessary				



LOT 3
PLAN VIP 5820

SITE PLAN
SCALE: 1 : 250

PROJECT DATATABLE - PROPOSED RM-7 ZONE		
Address	3983 Holland Ave	
Lot Size	4,138.37m ² (44,545.04ft ²)	
Zoning	Proposed	Permitted
Lot coverage		
Lot coverage (total)	31.59% 1,307.31m ² (14,071.77ft ²)	45% 1,862.27m ² (20,045.31ft ²)
Setbacks - Primary Structures		
Front setback	4.00m (13.0ft)	4.00m (13.0ft)
Rear setback	4.00m (13.0ft)	4.00m (13.0ft)
Interior setback	4.00m (9.8ft)	3.00m (9.8ft)
Exterior setback	5.00m (9.8ft)	3.00m (9.8ft)
Projections		
Steps, eaves, canopies, porches, balconies, etc.	TBD	Max. 0.6m for interior side Max. 1.2m front and rear
Street facing setback	TBD	1.20m (4.0ft)
Rear setback	TBD	1.20m (4.0ft)
Interior setback	TBD	0.60m (2.0ft)
Exterior setback	TBD	0.60m (2.0ft)
Height - Primary Structures		
Average grade	TBD	Calculated based on definition of grade in District of Saanich Bylaw
Highest roof height	TBD	11.0m (36.0ft)
Floor Area (all buildings)		
Floor space ratio	0.844 3,490.73m ² (37,573.94ft ²)	1.20 : 1.00 4,966.04m ² (53,454.01ft ²)
Setbacks - Accessory Structures		
Front setback	73.38m (240.75ft)	4.00m (13.0ft)
Rear setback	4.00m (13.00ft)	1.50m (5.0ft)
Interior setback	4.00m (13.0ft) 30.73m (100.82ft)	1.50m (5.0ft)
Height - Accessory Structures		
Permitted height	TBD	3.75m (12.3ft)
Off Street Parking		
Parking for attached housing	17 stalls	1 stall per unit
EV Equipped stalls	18 equipped stalls (car share stall included in total)	100% for unit stalls
Visitor parking	6 stalls	30% of total number of stalls
Accessible stalls	1 van accessible stall	As per off-street parking bylaw
Maneuvering aisle width	8.00m (26.25ft)	7.60m (25.0ft)
Large loading space	1 space provided (3.5m x 10.2m)	1 space required (3.5m x 10.2m)
Bicycle Parking		
Class I spaces	1 space per unit (located in garage)	1 space per unit
Class II spaces	6 spaces provided (adjacent visitor parking)	6 spaces required
Minimum Lot Size		
Standard Lot	width 40.22m (131.96ft) area 4,138.37m ² (44,545.04ft ²)	width 30m (98.5ft) area 900m ² (9687.52ft ²)
Transportation Demand Management (LUC - B)		
TDM Plan C - Carshare Package	all requirements of TDM Plan C - Carshare Package will be met or exceeded	see TDM Plan C - Carshare Package requirements in Table 7.5
TDM Plan B - Cycling Package	all requirements of TDM Plan B - Cycling Package will be met or exceeded	see TDM Plan B - Cycling Package requirements in Table 7.5
Outdoor Amenity Areas		
Community Garden	219.02m ² (2,357.54ft ²)	no requirements
Dog friendly greenspace	376.57m ² (4,053.31ft ²)	no requirements

RECEIVED
Dec 10, 2025
PLANNING DEPT.
DISTRICT OF SAANICH

PROJECT DATATABLE - EXISTING A-1 ZONE	
Address	3983 Holland Ave
Lot Size	4138.37m ² (44,545.04ft ²)
Zoning	Existing A-1
101.3 - Lot coverage	
Lot coverage	Area exceeds 2000m ² , lot coverage does not apply with the exception of SSMUH use, max Lot Coverage (R) of all buildings shall be regulated by Scheduled "G"
101.4 - Agricultural Setbacks	
Front lot line setback	7.5m (24.6ft)
Rear lot line setback	7.5m (24.6ft)
Exterior setback	7.5m (24.6ft)
Interior setback	3.0m (9.8ft)
Spatial separation (res'l bldgs)	3.0m (9.8ft)
Agriculture buildings / structures	Shall comply with siting provisions set out in table 5.2 under s5.31 of District of Saanich Bylaw
101.5 - Single Family Setbacks	
Front lot line setback	7.5m (24.6ft)
Rear lot line setback	7.5m (24.6ft)
Exterior setback	3.5m (11.5ft)
Interior setback	3.0m (9.8ft)
101.5 - Height	
Average grade	Calculated based on definition of grade in District of Saanich Bylaw
Highest sloped roof height	7.5m (24.6ft)
Highest flat roof height	6.5m (21.3ft)
101.5 - Floor Area	
Floor space ratio / Gross Floor Area	Shall not exceed a Floor Space Ratio (R) of 0.45, or a combined Gross Floor Area (R) of 400m ² (4306ft ²), whichever is lesser.
101.6 - Houseplex Buildings	
Houseplex Buildings	Houseplexes built under Small-Scale Multi-Unit Housing use shall be regulated in accordance with Schedule "G".
101.7 - Accessory Produce Sales	
Front lot line setback	7.5m (24.6ft)
Rear lot line setback	7.5m (24.6ft)
Exterior setback	7.5m (24.6ft)
Interior setback	3.0m (9.8ft)
Total floor area	12.0m (129ft ²)
Total number of bldgs permitted	1
101.8 - Non-Agricultural Accessory	
Front lot line setback	7.5m (24.6ft)
Rear lot line setback	7.5m (24.6ft)
Exterior setback	7.5m (24.6ft)
Interior setback	3.0m (9.8ft)
Permitted height	3.75m (12.3ft)
101.9 - Minimum Lot Size	
Standard Lot	width 60m (196ft) area 2 ha (4.9ac)
Panhandle Lot	not permitted
HomeSite Severance Subdivision approved by the Agricultural Land Commission	area 2500m ² (26910.7ft ²)
101.10 - Small Scale Multi-Unit Housing	
Small Scale Multi-Unit Housing	Small-Scale Multi-Unit Housing is only permitted in accordance with the conditions set out in section 5.37 of this Bylaw.
101.11 - General	
General	The relevant provisions of Sections 5, 6 and 7 of the bylaw shall apply.

ADDRESS:
3983 HOLLAND AVE, SAANICH BC

DRAWING NAME:
PRIMINARY SITE PLAN W/ EXISTING AND PROPOSED ZONING

ISSUE DATE:
DEC 09, 2025

102 - 2871 JACKLIN ROAD
VICTORIA BC V9B 0P3
JAVADESIGN.CA
o. 250.590.2468

JAVA DESIGNS

SHEET NUMBER

A1

CUSTOMER:
JP CREATIONS

DRAWING SCALE:
1 : 250

DRAWN BY:
NS

CHECKED BY:
KL



The Corporation of the District of Central Saanich

REGULAR COUNCIL REPORT

For the Regular Council meeting on Monday, April 14, 2025

Re: 8165 Derrinberg Road – Temporary Use Permit

RECOMMENDATION(S):

That the issuance of Temporary Use Permit #3100-20-4/24 to temporarily permit two dwelling units in the form of trailers/RVs be denied and that existing trailers/RVs currently being used as dwelling units be removed from the property at 8165 Derrinberg Road.

PURPOSE:

The purpose of this report is to consider a Temporary Use Permit (TUP) to permit two (2) accessory detached dwelling units in trailers/RVs within the Agricultural Land Reserve (ALR) at 8165 Derrinberg Road, as shown in Appendix A. These trailers are existing and established on the lands and were brought to the attention of the District through a bylaw complaint. The applicant wishes to permit the use of the trailers and address the bylaw issue through compliance via a TUP.

BACKGROUND:

In 2022, an Agricultural Land Commission (ALC) application for a non-adhering residential use was received by the ALC and the District to consider two accessory detached residential dwellings within trailers/RVs on the lands. The ALC application form and rationale letter are attached as Appendix B. In September 2024, the application was introduced to Council and a motion was carried to ask the applicant to apply for a TUP on the condition that approval be justified on agricultural necessity for additional farm work and the application be referred to the ALC. The September 9, 2024 Council report is attached as Appendix C. Council's September 9th, 2024 Council motion related to the ALC non-adhering residential use application was as follows:

That staff ask the applicant to apply for a Temporary Use Permit for 8165 Derrinberg Road, with a comment that approval needs to be justified on agricultural necessity for additional farm work, and the application be referred to the Agricultural Land Commission.

Site Context

The 3.96 ha (9.79 acre) rectangular property at 8165 Derrinberg Road is located at the end of Derrinberg road, parallel and directly east of East Saanich Road. The property is zoned A-1 and is within the ALR. The site is near several farm properties, residential homes, the Kingdom Hall of Jehovah's Witnesses, and the Mt Newton Masonic Hall. A site context map is attached as Appendix D.

The subject property has Farm Status in accordance with the *BC Assessment Act*. An existing dwelling is located at the southwest corner of the property. Agricultural use buildings such as a shed, stables, and barn are also located in the southwest portion of the site. The site has several agricultural uses and structures including hay fields, horse grounds, and a round pen and operates as a functioning farm that provides horse training, birthing, and husbandry and produces fruit orchards, hay, and chicken eggs. The farm at 8165 Derrinberg Road recently ended its lamb production operation and has plans to shift towards commercial vegetable growing. The current proposal is to temporarily allow the property to continue to accommodate two existing trailers/RVs and a shared septic system to house existing tenants with a horticultural background and who provide farm security. The proposal would enable both tenants to work on the farm until the landowner can construct a permanent secondary unit or relocate the tenants.

DISCUSSION:

Official Community Plan

OCP policies do not support non-farm activity within farmland the ALR including non-adhering residential uses.

- Policy 4.2.11: Do not support applications for non-farm uses and non-adhering residential uses on agricultural lands unless demonstrated that the proposed use would directly support and complement agriculture operations.

The portion of the property currently being used to accommodate the two trailer/RV dwelling units is not currently used for agricultural purposes, aside from housing farm workers. Existing farming activity on the property would largely be unaffected by the proposal.

The agricultural farm worker accommodation guidelines in the OCP (Schedule C) require the following:

- The farm must be classified as a Farm under the BC Assessment Act.
- The minimum size of the farm must be 4 hectares or where less than 4 hectares the need for farm support and the overall net benefit to farming must be demonstrated.
- The accommodation should be installed on a temporary foundation with no basement.
- The accommodation shall only be used for the housing of farm workers. An application should include information that:
 - Demonstrates the need for farm worker(s);
 - Demonstrates the need for the farm worker(s) to be housed onsite;
 - Describes the landowner's role in the farming operation; and
 - Demonstrates the overall net benefit to farming.
- A farm may apply to provide accommodation for workers from other farms subject to the applicant providing a written agreement between farms describing the arrangements, and the other farm(s) meeting the applicable guidelines in this section.
- If not used for a period of two consecutive years, the accommodation shall be removed in the case of a manufactured home or other temporary structure or else decommissioned if the building is of a more permanent nature.

The use of a TUP to rectify the existing bylaw issues and to permit the RV/trailers to be used as residential dwelling units would contravene OCP policies and the intended use of TUPs, as the owner has not clearly demonstrated how the temporary accommodation supports farming on the property.

Land Use Bylaw

The property is zoned A-1 Agriculture which allows residential use. In addition to the principal dwelling the A-1 Zone permits accessory dwelling units in the form of a secondary suite, wholly located within the principal dwelling, and a detached accessory dwelling unit, constructed to meet BC Building Code requirements.

The use of a recreational vehicle for year-round occupancy is not a permitted use in the Zoning Bylaw. Trailers and RVs are inspected under the motor vehicle act and not compliant with the BC Building Code as permanent dwelling units. A Building Permit cannot be issued for these structures because recreational vehicles are certified to a recreational standard. The Building Code requires adherence to requirements for structural integrity, seismic resistance, and fire safety. It should be noted that the structures would not be subject to a Building Permit or Occupation Permit and if permitted would restrict District oversight relating to health and safety.

Servicing

The existing trailers are currently serviced by an onsite septic system and the applicant did not submit confirmation of Island Health approval for septic servicing as a part of the application. Staff recommend this be submitted to support the application if Council advances this application.

ALC and ALR Regulations

This is an ALC application for a non-adhering residential use to allow two detached accessory trailers/rvs in addition to the principal dwelling on the property. The ALC permits a principal dwelling, a secondary suite within a principal dwelling and a detached accessory dwelling unit to a maximum of 90 m².

The ALC permits trailers to be used as a sleeping unit for the purpose temporary camping on properties that propose agri-tourism and strictly outlines the sleeping unit should not be constructed in a way that the agri-tourism accommodation could be used or easily converted to a residence. The ALC regulations specifically outline that agri-tourism activities are required to be operating to permit accommodation for agri-tourism. The ALC regulations note that the use of trailers as a sleeping unit should only be a seasonal use and the ALC does not support the use of trailers/RV's to be used as permanent residential dwelling units. The ALC's Bulletin 06 relating to tourist and agri-tourism accommodation in the ALR and Policy L-04 related to agri-tourism activities in the ALR are attached as Appendix E and F.

The subject property is not currently used for agri-tourism activities therefore the use of the trailers and rvs for permanent residences are not permitted and require the non-adhering residential use application. The applicant can build additional dwellings including a secondary suite in the principal dwelling and/or a cottage on the property under the residential uses permitted by the ALC and by the District's zoning.

Temporary Use Permit

The proposed TUP would permit two dwelling units in trailers/RVs within the ALR at 8165 Derrinberg Road for up to 3 years, with the option of renewing the TUP for an additional 3 years. Although, not supported by staff, if Council wish to proceed with the TUP application to allow for the above uses, staff suggest that the following be required for approval by the District prior to issuance of the TUP:

- That the owner provide confirmation of VIHA permits for the septic system.
- Section 219 covenant be provided to the District that indemnifies the District of liability associated with the use of a recreational vehicle for long-term residential use, inspections, and building permits.

Further to the above condition, staff recommend that if Council wish to issue the TUP, that the following conditions be included with the permit:

- The property must be classified as a ‘farm’ under the BC Assessment Act;
- The tenants must be associated with the farm operation;
- There should be no negative impact to the farm operations; and
- That following the expiry of the permit, loss of Farm Status, or housing non-agricultural workers the trailers and associated septic system and servicing are to be removed and the land returned to a state that supports agricultural activity.

OPTIONS:

Option 1 (recommended):

That the issuance of Temporary Use Permit #3100-20-4/24 to temporarily permit two dwelling units in the form of trailers/RVs be denied and that existing trailers/RVs currently being used as dwelling units be removed from the property at 8165 Derrinberg Road.

Option 2:

That the Temporary Use Permit application to temporarily permit two dwelling units in the form of trailers/RVs at 8165 Derrinberg Road be referred to the Advisory Planning Commission.

Following the Advisory Planning Commission Council may wish to consider the following:

1. *That prior to considering Temporary Use Permit #3100-20-4/24 to temporarily permit two dwelling units in the form of trailers/RV for 8165 Derrinberg Road the applicant return to Council within 60 days with the following:*
 - a. *That the owner provide confirmation of VIHA permits for the septic system.*
2. *That following confirmation of VIHA approval of the septic system that staff to schedule an Opportunity to be Heard and provide notification as per the Development Application Procedures Bylaw,*
3. *That following an Opportunity to be Heard Council consider issuance of the Temporary Use Permit #3100-20-4/24 to temporarily permit two dwelling units in the form of trailers/RV for 8165 Derrinberg Road subject to the following conditions:*
 - a. *That the applicant register a Section 219 covenant be provided to the District that indemnifies the District of liability associated with the use of a recreational vehicle for long-term residential use, inspections, and building permits;*
 - b. *The application be referred to the Agricultural Land Commission for consideration;*
 - c. *And that following approval from the Agricultural Land Commission the Temporary Use Permit be issued and contain the following conditions within the permit:*
 - i. *The property must be classified as a ‘farm’ under the BC Assessment Act;*
 - ii. *The tenants must be associated with the farm operation;*
 - iii. *There should be no negative impact to the farm operations, adjacent farms or properties; and*
 - iv. *That following the expiry of the permit, loss of Farm Status, or housing non-agricultural workers the trailers and associated septic system and servicing are to be removed and the land returned to a state that supports agricultural activity.*

Option 3:

Council provide alternative direction.

CONCLUSION:

The application being considered is for a Temporary Use Permit within the ALR to authorize two existing trailer/RV dwelling units. It is recommended that Council deny the applicant’s request for a TUP as the proposal does not demonstrate compliance with farm worker housing in the OCP, and the ALC does not permit trailers/RVs for long term residential use. Additional concerns include the long term use of a seasonal RV and the lack of evidence of VIHA septic permitting. If Council considers supporting the application, then option 2 recommends conditions with the TUP and that approval from the ALC is required to issue the TUP.

Report written by:	Davin Contois, Development Planner
Respectfully submitted by:	Kerri Clark, Manager of Development Services
Concurrence by:	Jarret Matanowitsch, Director of Planning, Building, and Bylaw Services
Concurrence by:	Christine Culham, Chief Administrative Officer

ATTACHMENTS:

Appendix A: Site Plan

Appendix B: ALC Application Form and Rational Letter

Appendix C: September 9, 2024 Council Report

Appendix D: Site Context Map

Appendix E: Information Bulletin 06: Tourist and Agri-Tourism Accommodation in the ALR

Appendix F: Policy L-04 Activities Designated As Farm Use: Agri-Tourism Activities In The ALR



RECEIVED
 JAN 17 2022
 The Corporation of the District
 of Central London
 Planning Department



Kingdom Hall of
 Jehovah's Witnesses





PL001199
3015-20.2/22

Provincial Agricultural Land Commission - Applicant Submission



Application ID: 64561

Application Status: Under LG Review

Applicant: Shawna Walker

Agent: Kevin Walker

Local Government: District of Central Saanich

Local Government Date of Receipt: 01/07/2022

ALC Date of Receipt: This application has not been submitted to ALC yet.

Proposal Type: Non-Adhering Residential Use - Additional Residence for Farm Use

Proposal: To address existing residential sites(2) that have housed accommodation trailers for 10/14 years respectively. Originally sites were created for our two daughters and their husbands to live on site and assist with farm life. When vacated they were made available to tenants involved in our farm life, on a low rent basis.

Agent Information

Agent: Kevin Walker

Mailing Address:

8165 Derrinberg Road

Saanichton, BC

V8M 1T5

Canada

Primary Phone: (250) 380-8411

Email: kbw8165@gmail.com

Parcel Information

Parcel(s) Under Application

1. **Ownership Type:** Fee Simple

Parcel Identifier: 000-146-129

Legal Description: PARCEL A (DD 35542I) OF SECTION 3, RANGE 3 EAST, SOUTH SAANICH DISTRICT

Parcel Area: 4 ha

Civic Address: 8165 Derrinberg Road Saanichton BC V8M 1T5

Date of Purchase: 10/28/1995

Farm Classification: Yes

Owners

1. **Name:** Shawna Walker

Address:

8165 Derrinberg Road

Saanichton, BC

V8M 1T5

Canada

Phone: (250) 480-8123

Email: shawnadeewalker@gmail.com

Current Use of Parcels Under Application

1. Quantify and describe in detail all agriculture that currently takes place on the parcel(s).

Horse training, birthing, husbandry, equestrian training (Natural Horsemanship training and clinics), fruit orchard, Hay grow, chicken egg production, recent shutdown of lambing operation but was 10 years of production, future shift to commercial vegetable crops upcoming.

2. Quantify and describe in detail all agricultural improvements made to the parcel(s).

When we purchased the farm in 1995 it was a derelict meat poultry operation with barns and residence that were un-useable. It had been neglected for many years. Drainage had collapsed, out buildings were unsafe.

Main residence was completely restored and updated.

Out-buildings were either torn down and replaced (3) or renovated and made serviceable for horse operation. (1) Extensive drainage was installed to make all land useable year round. Two riding rings were installed for all season use. A dormant 6 acre parcel was revived and nourished to provide healthy production of crops. A smaller parcel (1 acre) was restored for productive turn out for the lambs, and a half acre parcel was seeded for turn out for the horses. Fruit trees were brought back to production and now the trees are ready for scheduled replacement. Orchard trees are original to the 1920 construction of the farm as best as we can tell and are losing their ability to handle extreme weather, without shedding limbs, or succumbing to root rot. Hedging was installed to mitigate dust and airborne soil and weed transfer field to field. Proper earthen bridges (2) were constructed to provide direct "on property" access to 6 acre field from our property, in anticipation of the next phase of our vision to develop commercial vegetable production on our land. Bridges cross a drainage that previously made it necessary to go off property to access our growing lands.

3. Quantify and describe all non-agricultural uses that currently take place on the parcel(s).

Farmers residence (main house) and garage

Storage building for farm equipment and other recreational vehicles

Hay shed for farm equipment and boat storage when not full of hay

Adjacent Land Uses

North

Land Use Type: Agricultural/Farm

Specify Activity: Longview Farm and Saanichton Christmas tree farm

East

Land Use Type: Residential

Specify Activity: Residential sub division

South

Land Use Type: Agricultural/Farm

Specify Activity: Poultry meat operation, Beef grow, Horse training, Feed silos storage, Hay grow, Vegetable grow

West

Land Use Type: Residential

Specify Activity: Rental properties both single and multi family buildings

Proposal

1. What is the purpose of the proposal?

To address existing residential sites(2) that have housed accommodation trailers for 10/14 years respectively. Originally sites were created for our two daughters and their husbands to live on site and assist with farm life. When vacated they were made available to tenants involved in our farm life, on a low rent basis.

2. Describe the necessity for an additional residence for farm use and how it will support agriculture in the short or long term.

It is our intent to continue fulfilling the grand vision for our site and establish land for commercial vegetable production. The two rental sites allow us to have tenants that are working on site, each bringing unique skill sets to assist us to learn as we transition to vegetable production. The additional income has assisted us to maintain and upgrade the farm to date, and will assist in funding the set up of the fields and equipment for the future. We also expect that on a ten year horizon at least 2 of our 5 grandchildren will want to engage in the farm life and these sites will be made available to them at that time. Our long term goal is to maintain family ownership of a productive farm site into the next generation and beyond. (I will attach a cover letter that was to be provided to the ALC - it will assist in telling the Derrinberg Farm Story in more detail.

3. Describe the size, type and number, as well as occupancy of all residential structures currently located on the property.

1 Main Residence - 1920 structure fully restored and updated +/- 2800 Square feet.

1 plot of land approximately 1500 square feet with Trailer site and Sleeping annex (50 square feet) in ground services

1 plot of land approximately 1800 square feet with Trailer site and tool shed (40 square feet) in ground services

4. What is the total floor area of the proposed additional residence in square metres?

30 m²

5. Describe the rationale for the proposed location of the additional residence.

Both sites are located on land that is adjacent to the storage building and barns giving ease of access, privacy, and is on land that is not productive for crops.

6. What is the total area of infrastructure necessary to support the additional residence?

All infrastructure is in ground and contained within the above described site footprint.

7. Do you need to import any fill to construct the additional residence or infrastructure?

No

Applicant Attachments

- Agent Agreement-Kevin Walker
- Other correspondence or file information-Cover Letter to ALC
- Proposal Sketch-64561
- Certificate of Title-000-146-129

ALC Attachments

None.

Decisions

None.

Agricultural Land Commission
Application



Ref: Non-Adhering Residential Use (20.1.2)
8165 Derrinberg Road
Saanichton BC
V8M 1T5
Property Owners: Kevin and Shawna Walker

CIVIC ADDRESS: 8165 Derrinberg Rd Saanichton BC V8M 1T5 LEGAL: Parcel A, Plan
VIP2889, Section 3, Range 3E, South Saanich Land District PID: 000-146-129 (the "Property")

December 20, 2022

Ref: Steven Laing Correspondence August 18, 2021

Dear Sirs/Mesdames,

Thank you for the opportunity to submit this application, for whatever amendments and approvals might be necessary to continue current and historic and future uses of our property.

It is our understanding that a complaint has been registered with the ALC, related to two additional residential sites that have been in existence on our property since 2008. Our request in this application is to have these sites acknowledged as suitable for the purposes of maintaining current and future uses of our farmland.

We have owned and operated this farm since 1996 and raised our children and now our grandchildren on this land. It is our intent to maintain our family ownership through future generations.

When we acquired the farm, it was derelict and neglected, having lost its ability to operate as originally designed, as a poultry meat operation.

Our original effort and investments were toward the revitalizing of a horse training and equestrian facility. Amazing stories can be told of the contribution our eldest daughter has made through **BRG Horsemanship**. Her efforts on our land and the natural horsemanship training she offers have literally saved lives of young people in her programs. Young people that might otherwise become a burden to our social net...we will save those stories for another day.

Over the years we have operated a very successful lambing production. Our product was well known by local high-end restaurateurs.

We have maintained an orchard and again supplied restaurants with both apples and pears, and, we must now revitalise the fruit trees as they are original - dating back to 1920.

Our next step in the process of sustaining the viability of our farm is to move some of our land into food production, from forage crops. We hope to maintain a portion of our land to grow hay for our horse operation, and gradually release land from hay to vegetable grow with a view toward year-round production of food for our community.

To accomplish this, we are on a steep learning curve, as it must be done right to be sustainable and profitable.

Originally, we established two additional residential sites with a view to use by our two daughter's and their respective families. This was 10 and 14 years ago. While living on our land they made a major contribution to the daily needs of farm life. As their families grew, they moved to homes nearby, but off our land, and got busy with their careers, and raising our 5 grandchildren. Many of them now a part of our day-to-day life at the farm.

But the work continues, and the sites were available, so we chose to offer the sites to tenants to move on site, and work with us. Maybe inadvertently, we are now contributing to the low-cost housing needs of our community.

Our tenants each play a vital role in the future of our farm plan.

One is a horticulturalist engaged teaching with the local **Horticultural Society** and committed to showing us the way to a sustainable year-round vegetable grow operation. We feel this was an amazing fit for both parties. She currently lives in a brand-new trailer plugged into the services we designed into the site.

The other tenant plays a role maintaining the security of our farm.

Unfortunately, the street population of our city and our neighbourhood has become an issue. Just this last year alone we have suffered two break ins. One was during last year's snowstorm wherein our horse tack room was ransacked, and we lost coats and reins and all kinds of valuable things that the individual probably felt they needed to survive. That said the damaged goods were largely returned and the individual arrested under the **Mental Health Act**. (We can't help but think that if this individual had learned at an early age the health that comes from horse husbandry, they may not be such a burden to us all now).

The other break in could easily have resulted in a fatal outcome. A young lady, (high on some other substance), decided to saddle up a rehab horse in one of our fields, and try to mount and ride a very dangerous animal. Luckily on-site security caught the situation early enough that the only damage was to a very valuable saddle...not a young life. That young lady was invited to join one of our **Healing Through Horsemanship** programs, and we sincerely hope she will take us up on the invitation.

All that to say, we are firm in our belief that these two sites will be put to good use going forward. Even without the contribution of the tenants in day-to-day farm life, the income is meaningful in its contribution toward the costs of running the farm properly.

It likely won't be long before one of our grandkids decide they want to move on site and dive into the farm life. Thus, securing another generation of our family to make similar and fitting contributions to the culture of our community.

We have been in touch with Mia Frankl at The District of Central Saanich, who is copied in this communication. She has indicated that **The District** has "no issue", with the use currently in place on our farm property.

The two **subject sites** are located outside of the growing area of the farm, adjacent to our barn collection and equipment storage. They present no issue for our neighbours, and we remain very puzzled as to why an anonymous complaint would be registered now after so many years of their existence, without issue.

We respectfully ask for your consideration in approving the current uses, which seem to satisfy and support the mandate of the ALC and the newly announced amendments for allowable uses on land such as ours.

Farmers everywhere struggle to create unique and creative approaches to ensuring farmland that they own can be maintained for sustainable food sources for our communities and make contributions to the health of society in general.

We feel our plan does just that and could continue to be a part of our family legacy for generations to come.

Sincerely,

Kevin and Shawna Walker
8165 Derrinberg Road
Saanichton BC
V8M 1T5

Cc: Mia Frankl
By-law Enforcement
District of Central Saanich



The Corporation of the District of Central Saanich

REGULAR COUNCIL REPORT

For the Regular Council meeting on Monday, September 9, 2024

Re: 8165 Derrinberg Road – ALC Non-Adhering Residential Use Application

RECOMMENDATION(S):

That the ALC application to permit two dwelling units in the form of trailers/RVs at 8165 Derrinberg Road be denied.

PURPOSE:

The purpose of this report is to introduce a proposal for two dwelling units in trailers/RVs within the Agricultural Land Reserve (ALR) at 8165 Derrinberg Road (see Appendix A – Site Plan). An ALC application for a non-adhering residential use has been received by the ALC and the District. The ALC application form and rationale letter are attached as Appendix B.

BACKGROUND:

The 3.96 ha subject property is located at 8165 Derrinberg Road and operates as a functioning farm that provides horse training, birthing, and husbandry and produces fruit orchards, hay, and chicken eggs. The farm at 8165 Derrinberg Road recently ended its lamb production operation and has plans to shift towards commercial vegetable growing. The current proposal is to temporarily allow the property to accommodate two trailers/RVs to house a person with a horticultural background and someone who provides farm security. They would both work on the farm until the land owner can construct a permanent secondary unit or relocate the tenants. This matter came to the attention of the District through a bylaw complaint.

Site Context

The 3.96 ha (9.79 acre) rectangular property at 8165 Derrinberg Road is located at the end of Derrinberg road, parallel and directly east of East Saanich Road. The property is zoned A-1 and is within the Agriculture Land Reserve (ALR). A site context map is attached as Appendix C.

The property has many buildings, including a single family home and agricultural use buildings such as a shed, stables, and barn. Additionally, the site has several agricultural uses and structures including hay fields, horse grounds, and a round pen. The site is near several farm properties, residential homes, the Kingdom Hall of Jehovah's Witnesses, and the Mt Newton Masonic Hall.

DISCUSSION:

Official Community Plan

OCP policies are generally strong on not supporting non-farming activity within farmland including:

- Policy 4.2.11 Do not support applications for non-farm uses and non-adhering residential uses on agricultural lands unless demonstrated that the proposed use would directly support and complement agriculture operations.

The proposal runs counter to the District’s OCP policies and therefore, staff are not in support of this application. The portion of the property currently being used to accommodate the two trailer/RV dwelling units is not used for agricultural purposes, asides from housing farm workers. Farming on the property would largely be unaffected by the proposal.

Land Use Bylaw

The property is zoned A-1 Agriculture and there is no permitted use in the Zoning Bylaw that would apply to a permanent secondary and/or tertiary dwelling unit contained in any type of recreational vehicle, therefore either a zoning amendment or Temporary Use Permit (TUP) is required. If supported, a TUP would be the recommended approach for this non-farm use in the ALR. The proposal would utilize the existing trailers/RVs and there would be no expansion of buildings or infrastructure on the property, therefore there would be no issues with respect to siting, height, massing, or design. However, accommodating residential uses in vehicles licensed under the Motor Vehicle Act is not permitted under the Zoning Bylaw. Alternative housing choices are available, including a secondary suite in the main dwelling or the potential for a detached accessory dwelling when the District considers updated bylaws later this year.

NEXT STEPS:

Should Council not support the application at this time, the property would be brought into bylaw compliance.

Should Council wish to proceed with the proposal, then referring the application to the APC is recommended. In addition, the applicant should then submit an application for a TUP and staff would schedule an opportunity to be heard. Following public input, Council would have the following options.

1. Council could deny the request and that would end the application process. Staff would subsequently work with the owner to resolve the bylaw infractions.
2. Council could forward the proposal to the ALC and include comments for the ALC’s consideration, as well as the draft TUP. The TUP would be subject to ALC approval. The TUP would provide Council with an opportunity to regulate the proposed use such as limit the time that the trailer/RVs may remain in place (i.e. less than three years).
3. Council could forward the proposal to the ALC without additional comments.

OPTION(S):

1. That the ALC application to permit two dwelling units in the form of trailers/RVs at 8165 Derrinberg Road be denied. (recommended).
2. That the application be referred to the APC and that the applicant submit an application for a TUP. In addition, that staff schedule an opportunity to be heard at a future Council meeting.

CONCLUSION:

The application being considered is for a non-adhering residential use within the ALR to authorize two trailer/RV dwelling units. As the proposed goes against OCP policies and zoning regulations, and staff have concerns with using vehicles as residences, the recommendation is to deny the request.

Report written by:	Davin Contois, Development Planner
Respectfully submitted by:	Ivo van der Kamp, A/Manager of Development Services
Concurrence by:	Jarret Matanowitsch, Director of Planning, Building, and Bylaw Services
Concurrence by:	Christine Culham, Chief Administrative Officer

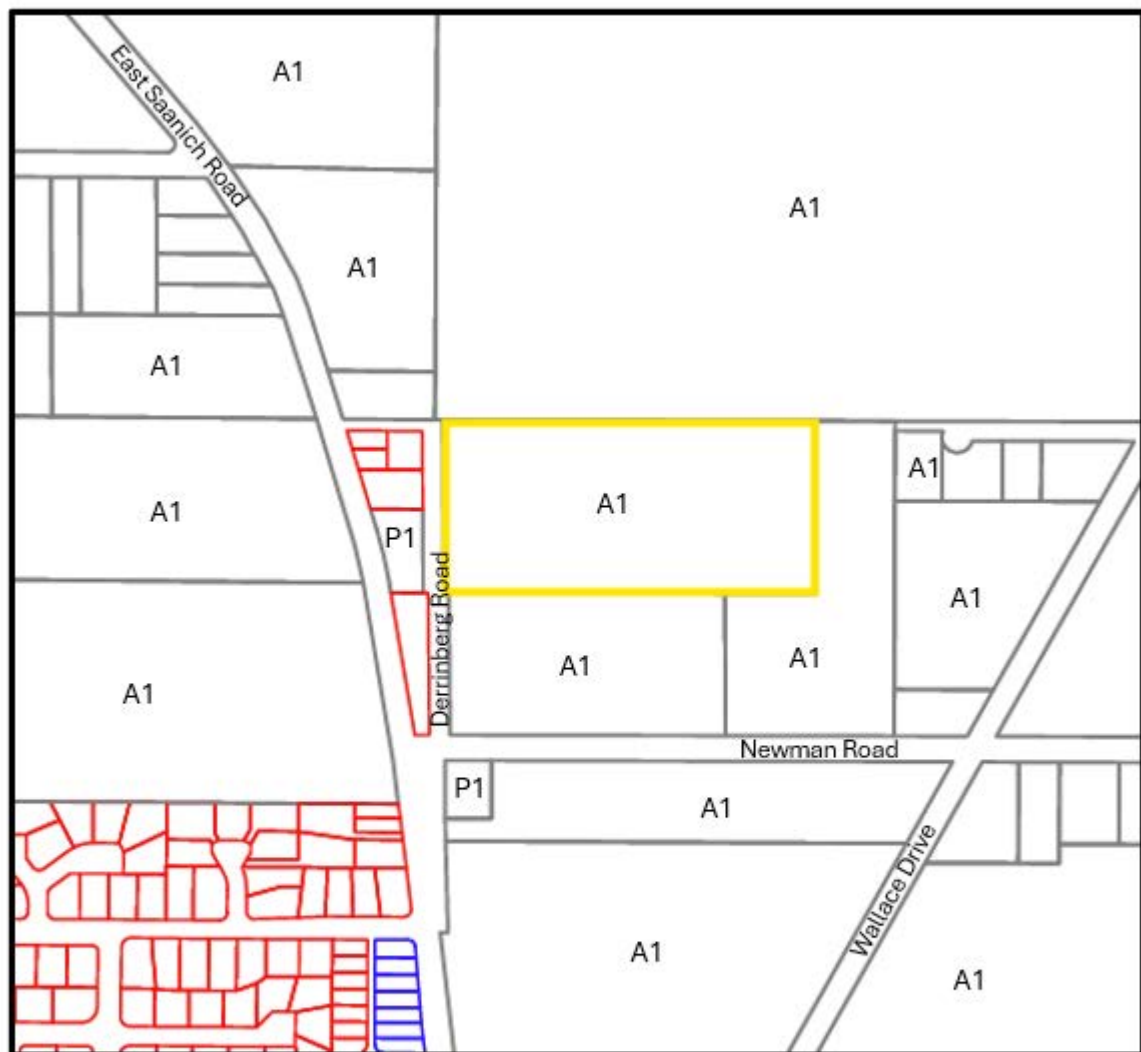
ATTACHMENTS:

Appendix A: Site Plan

Appendix B: ALC Application Form and Rational Letter

Appendix C: Site Context

8165 Derrinberg Road – Site Context



-  - Subject Site
-  - Residential Neighbourhood (RN)
-  - Residential Corridor (RC)

 <p>Agricultural Land Commission Act</p>	<p>ACTIVITIES DESIGNATED AS FARM USE:</p> <p>AGRI-TOURISM ACTIVITIES IN THE ALR</p>	<p>POLICY L-04</p> <p>Amended April 2019 Amended April 2018 October 2016</p>
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This policy is intended to assist in the interpretation of the [Agricultural Land Commission Act, 2002](#), (the “ALCA”) and BC Regulation 30/2019 ([Agricultural Land Reserve Use Regulation](#)), (the “Use Regulation”). In case of ambiguity or inconsistency, the ALCA and Use Regulation will govern.

INTERPRETATION:

The highest priority is the agricultural activity that takes place on the farm. Agri-tourism uses shall be secondary, incidental and compatible with the agricultural production activities. The agri-tourism activity must also be similar to the types of activities identified as farm use in the ALCA.

If the definitions in section 1(1) of the Use Regulation apply, agri-tourism activities (other than agri-tourism accommodation) are designated by the Use Regulation as farm uses, and as such, may not be prohibited by a local government bylaw.

The Use Regulation allows agri-tourism activities in the ALR provided the land is assessed as “farm” under the Assessment Act. If the assessment changes, the use is no longer permitted. The farm may be comprised of one or several parcels of land owned or operated by a farmer as a farm business. The farm parcels should be contiguous or in the same general geographic area. Agri-tourism activities include both fee and non-fee based activities.

Permanent facilities must not be constructed or erected for any agri-tourism activity. Permanent facilities include, but are not restricted to, any permanent structure, hard surfacing such as asphalt, concrete or other hard surface paths or parking areas, concrete pads, structural foundations, retaining walls, permanent tents (erected for more than 90 days) and permanent alteration to the landscape (permanent fill, gravel, berms, hills, dugouts, amphitheatres). The conversion of existing buildings and the construction associated with bringing them up to public assembly building code is also interpreted as a permanent facility. If permanent facilities are required, an application and approval of the Agricultural Land Commission (the “Commission”) is necessary.

For the purposes of this policy, parking areas must not be permanent (asphalt, concrete, gravel, etc) and parking must not interfere with the farm’s agricultural productivity. All vehicles visiting the farm for the agri-tourism activity must be parked on site. To minimize impacting farm land, parking should be along field edges, adjacent to internal farm driveways and roads and in farm yard areas or immediately adjacent to farm buildings and structures.

Services ancillary to the agri-tourism activities are services that support or enhance the activity including services such as food product sales (temporary concessions or temporary food trucks/stands), portable washrooms, ticket booths, temporary stages, eating areas. All of the foregoing must be temporary for the event only.

Bistros, cafes and restaurants are not agri-tourism activities and are considered non-farm uses in the ALR. Commercial kitchens are not permitted except those used for processing farm products (but not for food service). An application and approval of the Commission is required for bistros,

cafes and restaurants except for food and beverage service lounges permitted by section 13 of the Use Regulation for wineries, cideries, breweries, distilleries or meaderies.

The following are agri-tourism activities specified in section 12 of the Use Regulation:

- an agricultural heritage exhibit displayed on a farm (e.g. farm equipment displays);
- a tour of the farm, an educational activity or demonstration in respect of all or part of the farming operations that take place on the farm, and activities ancillary to any of these (e.g. milking barn tour, cheese making demonstration, harvest demonstration, farm crafts such as wreath making or garlic braiding);
- cart, sleigh and tractor rides on the land comprising the farm;
- activities that promote or market livestock (e.g. cattle, horses, sheep, goats, poultry) from the farm, whether or not the activity also involves livestock from other farms, including shows, cattle driving and associated domestic livestock petting zoos;
- dog trials held at a farm (e.g. agility and stock dog events);
- harvest festivals and other seasonal events on a farm for the purpose of promoting or marketing farm products produced on the farm (e.g. pumpkin patch, garlic festival, blueberry festival)
- Corn mazes prepared using corn planted on the farm.

Agri-tourism uses that are not listed in the Use Regulation or do not meet the conditions established in the Use Regulation (such as uses that are not taking place on land assessed as farm, that do not promote or market livestock from the farm, that do not promote or market farm products produced on the farm or that require permanent facilities), must make an application for non- farm use and seek approval from the Commission.

Activities that are not considered agri-tourism events include, but are not limited to, paint ball, dirt bike/atv trails, mini-train parks, model aircraft runways, rodeos, helicopter tours, activities operated as a commercial business, permanent food service facilities, permanent mazes, non-domestic animal pettings zoos, etc.

If a farm building (existing or new) is used for an agri-tourism activity and it does not meet the Use Regulation or other regulatory requirements or it has not been approved by the Commission, it will be considered in contravention of the ALCA.

Local governments have the authority to regulate agri-tourism activities with regard to structures and building occupancy (including determining if an existing farm building is appropriate for a gathering or requires upgrades for public assembly), parking, lighting, hours of operation, health and safety, noise, access for police, fire and emergency vehicles, etc.

This policy does not address gathering for an event. See Related Policies.

This policy does not address agri-tourism accommodation, which in some circumstances is a permitted use under section 33 of the Use Regulation for the purpose of the Commission unless prohibited by a local bylaw. See Information Bulletin 06 – Accommodation for Tourists in the ALR.

Farm retail sales are addressed separately under section 11(3) of the Use Regulation and

may qualify as a designated farm use if the specified conditions are met. See Related Policies.

TERMS:

ancillary means subordinate or supplementary to the primary farm use

seasonal means a use or activity that fluctuates according to one or more seasons (spring, summer, fall and winter) (but not all seasons) or available or taking place during one or more seasons (but not all seasons) or at a specific time of the year.

Unless defined in this policy, terms used herein will have the meanings given to them in the ALCA or the Use Regulation.

RELATED POLICIES:

ALC Policy L-02 Activities Designated as Farm Use: Farm Retail Sales in the ALR

ALC Policy L-22 Activities Designated as a Permitted Non-Farm Use in the ALR: Gathering for an Event in the ALR

REFERENCE:

Agricultural Land Reserve Use Regulation (BC Reg. 30/2019), Sections 1, 3, 4, 5(1), 12,

Definitions

Section 1 In this regulation:

"agri-tourism activity" means an activity referred to in section 12 [agri-tourism];

"farm product" means a commodity that is produced from a farm use but does not include water;

If farming extends over multiple parcels

Section 3 Unless a contrary intention appears, a reference to a use of agricultural land includes all of the agricultural land on which a single farm operation is conducted, regardless of

(a) whether activities are conducted over one parcel or multiple parcels, or

(b) whether, in the case of multiple parcels, the parcels are adjacent.

Farm uses that may not be prohibited

Section 4 The farm uses referred to in this Part may not be prohibited

(a) by a local government enactment except a bylaw under section 552 [farming area bylaws] of the Local Government Act, or

(b) by a first nation government law, if the activity is conducted on settlement lands.

Necessary structures and ancillary services

Section 5 (1) Subject to any limits and conditions set out in this Part, the use of agricultural land to construct, maintain or operate any of the following is designated as a farm use and may not be prohibited as described in section 4:

- (a) a structure, other than a residential structure, that is necessary for a farm use;
- (b) a driveway or utility that is necessary for a farm use

Agri-tourism

Section 12 (1) *The use of agricultural land for conducting an agri-tourism activity described in subsection (2) of this section is designated as a farm use and may not be prohibited as described in section 4 if all of the following conditions are met:*

- (a) *the activity is conducted on agricultural land that is classified as a farm under the Assessment Act;*
- (b) *members of the public are ordinarily invited to the activity, whether or not a fee or other charge is payable;*
- (c) *no permanent facilities are constructed or erected in connection with the activity.*

(2) *The following are agri-tourism activities for the purposes of subsection (1):*

- (a) *an agricultural heritage exhibit displayed on the agricultural land;*
- (b) *a tour of the agricultural land, an educational activity or demonstration in respect of all or part of the farm operation conducted on that agricultural land, and activities ancillary to any of these;*
- (c) *cart, sleigh and tractor rides on the agricultural land;*
- (d) *subject to section 9 [horse facilities], activities that promote or market livestock raised or kept on the agricultural land, whether or not the activity also involves livestock raised or kept elsewhere, including shows, cattle driving and petting zoos;*
- (e) *dog trials held on the agricultural land;*
- (f) *harvest festivals and other seasonal events held on the agricultural land for the purpose of promoting or marketing farm products produced on that agricultural land;*
- (g) *corn mazes prepared using corn produced on the agricultural land on which the activity is taking place.*

Agricultural Land Commission Act, S.B.C. 2002, c. 36, Section 1.

Definitions

Section 1(1)

"agricultural land" means land that

- (a) *is included in the agricultural land reserve under section 15 (1.1), 17(3.1) or 45(1) of this Act, or*
- (b) *was included under a former Act as agricultural land or land in an agricultural land reserve, unless the land has been excluded from the agricultural land reserve under this Act or from an agricultural land reserve under a former Act;*

"farm use"

- (a) *means an occupation or use of agricultural land for*
 - (i) *farming land, plants, mushrooms, truffles or animals,*
 - (ii) *a farm operation as defined in the Farm Practices Protection (Right to Farm) Act, or*
 - (iii) *a purpose designated as a farm use by regulation, and*
- (b) *does not include a residential use or a soil or fill use;*

Information Bulletin 06: Tourist and Agri-Tourism Accommodation in the ALR

July 16, 2024

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1. Scope of this Information Bulletin

This information bulletin provides guidance to assist in interpreting the *Agricultural Land Commission Act*, S.B.C. 2002, c. 36 (“ALCA”) and the *Agricultural Land Reserve Use Regulation* (the “ALR Use Regulation”), in relation to agri-tourism accommodation and tourist accommodation in the Agricultural Land Reserve (“ALR”). The ALCA and ALR Use Regulation will govern if inconsistent with this bulletin. This information bulletin is directed only to interpretation of the ALCA and the ALR Use Regulation. All other applicable laws, regulations and bylaws related to accommodation for tourists must also be complied with.

2. Statute and Regulations

Effective February 22, 2019, the ALCA was amended and the ALR Use Regulation was created. Though many concepts contained in the ALCA and its regulations are unchanged from the past, there were changes to the use of ALR land for agri-tourism accommodation and tourist accommodation, as well as soil removal and fill placement necessary for construction. Agri-tourism accommodation and tourism accommodation are defined as permitted uses in the ALR under s. 33 and s. 34 of the ALR Use Regulation, subject to criteria. All references in this information bulletin to the ALCA and the ALR Use Regulation are as of the date of this bulletin, unless otherwise stated.

3. Role of Local Governments

A. Role as Approving Body

The approvals that an approving body such as a local government may give in respect of the construction or alteration of agri-tourism accommodation and tourism accommodations are limited: ALCA, s. 18.

Any portion of a local government bylaw that purports to allow a use of land in the ALR that is not permitted under the ALCA or the ALR Use Regulation, or contemplates a use of land that would impair or impede the intent of the ALCA or the ALR Use Regulation, is inconsistent with the ALCA or the ALR Use Regulation and has no force or effect: ALCA, ss. 46(4), (5).

For example, **if a zoning bylaw provides for more agri-tourism accommodation or tourism accommodation on ALR land than the ALCA and the ALR Use Regulation does, the zoning bylaw's provision for that extra accommodation is of no force or effect and cannot be relied on.**

B. Local Government May Restrict or Prohibit

Local government bylaws can be more restrictive of residential uses in the ALR, including prescribed tourist accommodation and agri-tourism accommodation uses, than the ALCA: ALCA, s. 46(6).

The ALR Use Regulation identifies certain designated farm uses and permitted non-farm uses that local governments must not prohibit but places no such limitation on local government powers to prohibit or otherwise restrict agri-tourism accommodation and tourist accommodation uses of ALR land.

A local government may decide that no agri-tourism accommodation or tourist accommodation should occur in the ALR in their jurisdiction. The local government may expressly prohibit these uses or alternatively, the local government may simply not list those uses among uses that can occur in a particular zone, which accomplishes the same purpose. Where a zoning bylaw is in place, use of land for agri-tourism accommodation and tourist accommodation must be specifically permitted by the bylaw in order for that use to occur. Otherwise, that use cannot occur even if the use would be compliant with the ALCA and ALR Use Regulation.

A local government also has the option of allowing agri-tourism accommodation or tourist accommodation but allowing less than the ALCA and the ALR Use Regulation. For example, a local government bylaw may restrict the number of agri-tourism accommodation sleeping units to fewer than 10 and may specify the maximum number of persons who may be accommodated per sleeping unit.

Further, a local government may have additional requirements related to maximum floor area, type and form of accommodation, parking, signage, setbacks, fire and emergency servicing, etc. Local governments that permit accommodation for tourists on ALR land may wish to develop monitoring methodology or require permits to ensure the occupation of the accommodation meets the requirements of their bylaws.

C. Areas Without Zoning Bylaws

Some areas of the province do not have zoning bylaws. The absence of a local zoning bylaw does not relieve a landowner from complying with the restrictions in the ALCA and ALR Use Regulation. In other words, a landowner must not exceed the agri-tourism accommodation or tourist accommodation permissions set out in the ALR Use Regulation, regardless of whether or not a zoning bylaw applies to their property, without seeking approval from the Agricultural Land Commission (the “Commission” or “ALC”) first.

D. Applications

Anyone wanting more accommodation than provided for in the ALR Use Regulation must submit an application, through their local government, to the Commission. For more information on the process for making applications to the Commission, please see the Commission’s website, at [Applications and Notices](#) as well as Section 9 of this information bulletin.

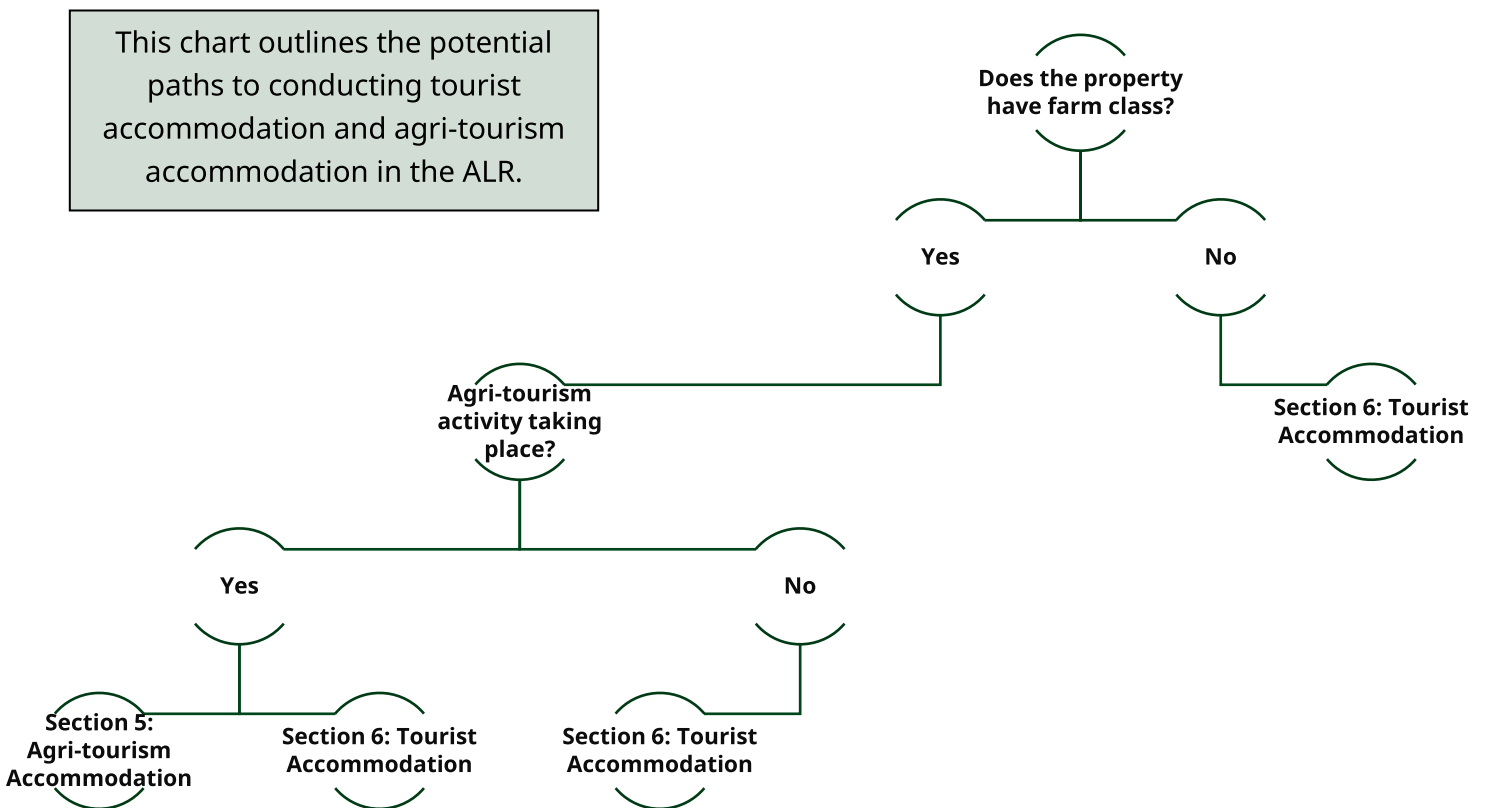
4. Types of Permitted Accommodation

The ALR is not intended to be a venue for hotels or motels. The types of accommodation permitted in the ALR are very limited and subject to restrictions for placement of fill and removal of soil. See Section 8 of this information bulletin.

The ALR Use Regulation permits two types of tourism related accommodations in the ALR without requiring an application to the ALC as described below; one type requires active farming to be present and one does not.

Agri-tourism accommodation requires the parcel to be actively farmed, have Class 9 - Farm classification under the BC *Assessment Act* ("farm class"), and agri-tourism accommodation to be offered in relation to an agri-tourism activity as defined in section 12(2) of the ALR Use Regulation (see Section 5).

Bed and breakfast type accommodation (defined as a tourist accommodation in section 34 of the ALR Use Regulation) does not require the parcel to be farmed or have farm classification to conduct the use but is restricted to no more than 4 bedrooms in the principal residence where the landowner resides (see Section 6).



5. Agri-Tourism Accommodation

Agri-tourism accommodation is a way for a farm that is offering agri-tourism activities to provide a more immersive overnight farm experience. Agri-tourism activities are defined in s. 12 ALR Use Regulation which provides a specific list of agri-tourism activities in the ALR. More information can be found in [ALC Policy L-04 Agri-tourism Activities](#). **For clarification, agri-tourism activities and agri-tourism accommodation are related but separate concepts in the ALR Use Regulation; agri-tourism accommodation is not an agri-tourism activity on its own.**

A. ALR Use Regulation Criteria

The use of land in the ALR for providing accommodation in relation to an agri-tourism activity is permitted under section 33 of the ALR Use Regulation if all of the following apply:

- (1) the accommodation is in relation to an **“agri-tourism activity”**. The agri-tourism activity must be secondary to, incidental to and compatible with the agricultural production activities. Expressly under section 12 of the ALR Use Regulation, **“agri-tourism activity”** is an activity:
 - (a) conducted on land in the ALR that is classified as a farm under the *Assessment Act*;
 - (b) to which members of the public are ordinarily invited, whether or not a fee or other charge is payable;
 - (c) in connection with which no permanent facilities are constructed or erected. See ALC Policy L-04 for further discussion; AND
 - (d) that falls into one of the following categories:
 - i. an agricultural heritage exhibit displayed on the agricultural land;
 - ii. a tour of the agricultural land, an educational activity or demonstration in respect of all or part of the farm operation conducted on that agricultural land, and activities ancillary to any of these;
 - iii. cart, sleigh and tractor rides on the agricultural land;
 - iv. subject to section 9 [*horse facilities*], activities that promote or market livestock raised or kept on the agricultural land, whether or not the activity also involves livestock raised or kept elsewhere, including shows, cattle driving and petting zoos;
 - v. dog trials held on the agricultural land;
 - vi. harvest festivals and other seasonal events held on the agricultural land for the purpose of promoting or marketing farm products produced on that agricultural land;
 - vii. corn mazes prepared using corn produced on the agricultural land on which the activity is taking place;

- (2) the accommodation is located on land in the ALR that is classified as a farm under the *Assessment Act*: ALR Use Regulation, s. 33(2)(a);
- (3) the total developed area for structures, landscaping and access for the accommodation is less than 5% of any parcel: ALR Use Regulation, s. 33(2)(b);
- (4) the accommodation is limited to 10 sleeping units in total, including any bedrooms used for tourist accommodation under section 34 of the ALR Use Regulation: ALR Use Regulation, s. 33(2)(c).; AND
- (5) accommodation is provided on a seasonal or short-term basis only: ALR Use Regulation, s. 33(2)(d).

Note that:

“Tourist” is a person who travels for pleasure from place to place away from their permanent residence.

An owner of ALR land who wishes to construct or alter agri-tourism accommodation must also comply with the requirements set out in section 20.1 of the ALCA.

B. Farm Status Requirement

The ALR Use Regulation allows agri-tourism accommodations in the ALR provided the land is assessed as “farm” under the BC *Assessment Act*. If the assessment changes, the use is no longer permitted.

C. Sleeping Units

“Sleeping unit” means “(a) a bedroom or other area used for sleeping located in a residence, cabin or other structure; (b) a vehicle, trailer, tent or other structure located on a campsite, field or other area”: ALR Use Regulation, s. 33(1).

Section 33 of the ALR Use Regulation permits up to a maximum of 10 sleeping units in total. If a landowner wishes to exceed the maximum number of sleeping units permitted in the ALR Use Regulation they must submit an application to the Commission for its consideration, regardless of compliance with other criteria in section 33 of the ALR Use Regulation.

A local government may prohibit this use or restrict the number of sleeping units to fewer than what the ALR Use Regulation permits. For example, a local government bylaw may restrict the number of sleeping units to any number less than 10.

If tourist accommodation is offered in the principal residence (see Section 6) the number of bedrooms offered in the principal residence are included in the total number of accommodation units offered on the property which is set at a maximum of 10 of all types.

Agri-tourism accommodation units must not be constructed to circumvent the number of permitted residences on a property in the ALR (e.g. including kitchens within sleeping units or cabins), and they should not be constructed in a way that the agri-tourism accommodation could be used or easily converted to a residence. Agri-tourism accommodation may only be conducted if all of the criteria in section 33 of the ALR Use Regulation are met and may be required to be removed if the criteria are no longer met. This should be taken into consideration during the design and construction process.

D. Total Developable Area

The total developed area for agri-tourism accommodation structures, including associated landscaping and access for the accommodation must be less than 5% of any parcel (see Table 1). Agri-tourism accommodation structures only include those structures that contain sleeping units and do not include other structures (e.g. pools, spas, amenity buildings, cooking pavilions, etc). If the developed area exceeds 5% or if additional accessory structures are planned for agri-tourism accommodations, an application to the Commission is required. In addition, restaurants, cafes, and bistros are not permitted without an application to the Commission.

If fill (defined in the ALCA as any material brought onto the parcel including structural aggregate) is required to develop the agri-tourism accommodation (e.g. for driveways, gravel for tent pads, etc), a Notice of Intent is required (see Section 9).

Table 1. Lot Coverage Limit Calculation Examples

Parcel Area	Maximum Total Developable Area (5%)
10 ha (~25 acres)	5,000 m ²
8 ha (~17 acres)	4,000 m ²
4 ha (~10 acres)	2,000 m ²
2 ha (~5 acres)	1,000 m ²
0.8 ha (~2 acres)	400 m ²

E. Short-Term or Seasonal Use

“**Seasonal**” is a use or activity that fluctuates according to one or more seasons (spring, summer, fall and winter) (but not all seasons) or available or taking place during one or more seasons (but not all seasons) or at a specific time of the year.

“**Short-term basis**” means the use by a tourist of accommodation for a period of not more than 30 consecutive days.

Given the seasonal nature of farms, it is likely that most agri-tourism accommodation will be provided during the months when the farm and agri-tourism activities are active and be dormant at other times.

6. Tourist Accommodation in a Principal Residence

Tourist accommodation is in the nature of a “bed and breakfast” use. Tourist accommodation may only occur in a principal residence where the landowner resides.

A. Tourist Accommodation in Lawful Principal Residence

A bed and breakfast (referred to in the ALR Use Regulation as “tourist accommodation”) is permitted in a lawful principal residence including a secondary suite within the principal residence without application to the Commission if all of the following conditions are met:

- the landowner resides in the principal residence;
- the accommodation is limited to a maximum of 4 bedrooms in the principal residence; AND
- the accommodation is provided on a short-term basis only.

Short-term rental of an entire principal residence (i.e. a whole house rental for AirBnB or VRBO) is not permitted by regulation and requires an application to the Commission (see Section 7).

“**Tourist**” is a person who travels for pleasure from place to place away from their permanent residence.

“**Bedroom**” for the purpose of section 34 of the ALR Use Regulation means “a bedroom or other area used for sleeping in a residence”: ALR Use Regulation, s. 34(1).

“**Short-term basis**” means the use by a tourist of accommodation for a period of not more than 30 consecutive days.

B. Grandfathered Tourist Accommodation in a Principal Residence

Tourist accommodation on ALR land is permitted without application to the Commission in a principal residence that has a total floor area of more than 500 m² or that is otherwise of a size or is sited in contravention of a regulation if all of the following conditions are met:

- on February 22, 2019, the number of bedrooms complied with section 3(1)(d) of the Agricultural Land Reserve Use, Subdivision and Procedure Regulation, as it read immediately before February 22, 2019 (that is, “bed and breakfast use of not more than 4 bedrooms for short term tourist accommodation or such other number of bedrooms as specified in a local government bylaw, or treaty first nation government law, applicable to the area in which the parcel is located”);

- the number of bedrooms is not changed after February 22, 2019 unless (i) permitted under section 25 or 45 of the ALCA, or (ii) the number of bedrooms is not increased by the change; AND
- accommodation is provided on a short-term basis only.

An owner of ALR land who wishes to construct or alter tourist accommodation use in a principal residence on ALR land must also comply with the requirements set out in section 20.1 of the ALCA.

7. Short Term Rental Accommodation Act

Effective May 1, 2024 the *Short Term Rental Accommodations Act* (“STRAA”) limits short-term rentals of certain residences, in certain areas of B.C. The STRAA was introduced to regulate short-term rentals and encourage long-term rentals to address B.C.’s housing crisis.

The ALCA and ALR Use Regulation permit a principal residence, a suite within that principal residence, and an additional residence subject to criteria and a local government may prohibit or permit a suite and/or additional residence. Depending on where the property is and whether it includes farmland (BC Assessment Class 9), the STRAA may allow the use of a lawful principal residence including the secondary suite and/or an additional residence in the ALR for short-term rental accommodation subject to criteria.

A parcel in the ALR is subject to the ALCA and ALR Use Regulation and may also be subject to restrictions or exemptions from the STRAA. However, the STRAA does not exempt a landowner from complying with the ALCA and ALR Use Regulation with respect to tourist accommodation and agri-tourism accommodation.

Landowners should seek guidance from their local government on whether the STRAA applies to their property and potential restrictions. More information on the STRAA can be found at [Overview: B.C.’s short-term rental accommodations legislation](#).

8. Use of Residential Structures in the ALR for Short-Term Rental

The ALCA and ALR Use Regulation permits a principal residence, a suite within that principal residence, and an additional residence subject to criteria. The ALR Use Regulation specifies which of those residential structures can be used for short-term tourism rental in the form of tourist accommodation and agri-tourism accommodation.

A. Principal Residence

Section 34 of the ALR Use Regulation permits tourist accommodation in the nature of a “bed and breakfast” only in a principal residence where the host lives. Short-term rental of an entire principal residence (such as a whole house rental for AirBnB or VRBO) is not permitted by regulation and requires an application to the Commission.

B. Secondary Suite within the Principal Residence

The bedrooms of a secondary suite within the principal residence may be used to count towards the 4 bedrooms permitted under Section 34 of the ALR Use Regulation for tourist accommodation in the principal residence where the host lives. The 4 bedrooms permitted could be located within the secondary suite within the principal residence or elsewhere within the principal residence, or a combination thereof.

Section 33 of the ALR Use Regulation permits agri-tourism accommodation with up to 10 “sleeping units” which may be comprised of a bedroom or other area used for sleeping located in a residence, cabin or other structure; a vehicle, trailer, tent or other structure located on a campsite, field or other area. A secondary suite within the principal residence permitted under section 31 of the ALR Use Regulation may be used to provide “sleeping units” for agri-tourism accommodation.

C. Additional Residence

Section 33 of the ALR Use Regulation permits agri-tourism accommodation with up to 10 “sleeping units” which may be comprised of a bedroom or other area used for sleeping located in a residence, cabin or other structure; a vehicle, trailer, tent or other structure located on a campsite, field or other area. A lawful additional residence may be used to provide “sleeping units” for agri-tourism accommodation.

The additional residence may only be used for short-term rental if the criteria for agri-tourism accommodation is met.

9. Soil or Fill Restrictions for Accommodation Construction

Removing soil from or placing fill on ALR land is permitted for the construction or maintenance of a principal residence if the total area from which soil is removed or on which fill is placed is 1,000 m² or less: ALR Use Regulation, s. 35.

Removing soil from or placing fill on ALR land in connection with other residential uses (such as constructing an additional residence or residential structures for agri-tourism accommodation or where the area affected by a principal residence is greater than 1,000 m²) is not permitted. An owner of ALR land seeking to remove soil or place fill may submit a Notice of Intent along with payment of the required fee to the ALC’s chief executive officer requesting approval: ALCA, s. 20.3. The landowner may also apply to the Commission for a soil or fill use under s. 25 of the ALCA.

The following types of fill are prohibited on ALR land (ALR Use Regulation, s. 36):

- construction or demolition waste (including masonry rubble, concrete, cement, rebar, drywall and wood waste);
- asphalt;
- glass;
- synthetic polymers;

- treated wood;
- unchipped lumber.

10. Applications for Non-Adhering Residential Use

An owner may apply to the Commission for approval under section 25 of the ALCA for a non-adhering residential use: ALCA, s. 20.1(2). A **“non-adhering residential use”** means “any of the following: (a) an additional residence; (b) a principal residence having a total floor area that is more than 500 m²; (c) a use of a residential structure that contravenes the regulations”: ALCA, s. 1(1). For example, use of more than four bedrooms in a principal residence for short-term tourist accommodation would be a non-adhering residential use requiring an application (subject to the potential exception for Tourist Accommodation in a Grandfathered Principal Residence discussed above).

For more information on making applications to the Commission, please see the Commission’s website, at [Applications and Notices](#).

Section 25(1) of the ALCA provides that on receiving a use application the Commission may:

- refuse permission for the use applied for,
- grant permission, with or without limits or conditions, for the use applied for, or
- grant permission for an alternative use or subdivision, with or without limits or conditions, as applicable.

Examples of considerations that the Commission may take into account in determining an application are found at [What the Commission Considers](#).

11. Related Policies and Information Bulletins

[ALC Land Use Policy L-04 – Agri-tourism Activities in the ALR](#)
[Information Bulletin 07 Soil and Fill Uses in the ALR](#)

12. Glossary

The following key definitions are relevant to this information bulletin:

“agri-tourism activity” means “an activity referred to in section 12” of the ALR Use Regulation: ALR Use Regulation, s. 1

“additional residence” means “a residence on a parcel of agricultural land, other than the principal residence”: ALCA, s. 1(1)

“alter” means “the following: (a) to alter the exterior of a structure so as to increase its size; (b) to move or alter the exterior walls or edges of a structure so as to change its siting”: ALCA, s.1(1)

“authorization” means “a permit or other authorization, issued under an enactment, to construct or alter a residence”: ALCA, s. 20.2

“bedroom” means “a bedroom or other area used for sleeping in a residence”: ALR Use Regulation, s. 34(1)

“construct” means “the following: (a) to build a new structure; (b) to place on land a new structure that is fully or partially pre-fabricated; (c) to replace a structure, 75% or more of which has been substantially damaged or destroyed”: ALCA, s. 1(1)

“farm use” means “an occupation or use of agricultural land for (i) farming land, plants, mushrooms, truffles or animals, (ii) a farm operation as defined in the *Farm Practices Protection (Right to Farm) Act*, or (iii) a purpose designated as a farm use by regulation”, but “farm use” does “not include a residential use or a soil or fill use”: ALCA, s. 1(1)

“fill” means “any material brought onto agricultural land other than materials exempted by regulation”: ALCA, s. 1(1)

“non-adhering residential use” means “any of the following: (a) an additional residence; (b) a principal residence having a total floor area that is more than 500 m²; (c) a use of a residential structure that contravenes the regulations”: ALCA, s. 1(1)

“non-farm use” means “a use of agricultural land other than a farm use, a residential use or a soil or fill use”: ALCA, s. 1(1)

“pre-existing residential structure” means “a residential structure that exists on agricultural land on the date this section comes into force [February 22, 2019], and (a) is an additional residence, (b) is a principal residence having a total floor area of more than 500 m², or (c) is of a size or is sited in contravention of a regulation”: ALCA, s. 20.2

“prescribed residential structure” is either a “structure” that, or a “vehicle” that, is “used, whether permanently or temporarily, to provide or in connection with providing accommodation as described in [Part 4 of the ALR Use Regulation]”: ALR Use Regulation, s. 29

“principal residence” means “the residence permitted under section 20.1(1)(a)”: ALCA, s. 1(1)

“residential structure” means “a structure used, during all or part of the year and whether fully or partially, as (a) a residence, (b) if prescribed, accommodation, or (c) if prescribed, in relation to a residence or accommodation”: ALCA, s. 1(1)

“residential use” means “a use of agricultural land for a residential structure” but “does not include a farm use or a soil or fill use”: ALCA, s. 1(1)

“seasonal” means a use or activity that fluctuates according to one or more seasons (spring, summer, fall and winter) (but not all seasons) or available or taking place during one or more seasons (but not all seasons) or at a specific time of the year

“short-term basis” means the use by a tourist of accommodation for a period of not more than 30 consecutive days

“sleeping unit” means “(a) a bedroom or other area used for sleeping located in a residence, cabin or other structure; (b) a vehicle, trailer, tent or other structure located on a campsite, field or other area”: ALR Use Regulation, s. 33(1)

“soil or fill use” means “the removal of soil from, or the placement of fill on, agricultural land” but “does not include a farm use or a residential use”: ALCA, s. 1(1)

“tourist” is a person who travels for pleasure from place to place away from their permanent residence

“use or subdivision application” means “an application for permission made under any of the following: (a) section 20 (2) for a non-farm use; (b) section 20.1 (2) (a) for a non-adhering residential use; (c) section 20.3 (5) for a soil or fill use; (d) section 21 (2) for subdivision”: ALCA, s. 1(1).



The Corporation of the District of Central Saanich

REGULAR COUNCIL REPORT

For the Regular Council meeting on Monday, November 24, 2025

Re: Soil Removal or Deposit Permit Application – 7210 Wallace Drive

RECOMMENDATION(S):

- 1- *That the Application to Place Fill in the ALR be forwarded to the ALC, with a recommendation to support.*
- 2- *Subject to the ALC's approval of the Application to Place Fill in the ALR, that Council authorises issuance of the Central Saanich Soil Deposit Permit by the Municipal Engineer upon satisfactory completion of outstanding permitting requirements associated with the municipal permit.*

BACKGROUND:

An application to the Commission asking it to approve a soil or fill use may be submitted through the local government. Local governments that receive a Soil or Fill Use Application under section 34(4) of the ALCA must (a) review the application, and (b) forward to the Commission the application together with the comments and recommendations of the local government in respect of the application.

The local government must NOT approve or permit fill placement or removal of soil or aggregate until such time that the Commission has approved the Soil or Fill Use Application for the subject property.

The District's Soil Deposit and Removal Bylaw require Council's approval for applications in excess of 1,000 cubic meters.

DISCUSSION:

1487771 BC Ltd. c/o Troy Swindell submitted an application for the Placement of Fill within the ALR through the ALC Portal for proposed Phase 1 works at 7210 Wallace Avenue and a Soil Removal or Deposit Permit Application to District of Central Saanich.

Owner and applicant seek District permission and ALC approval to import crushed aggregate for construction of roads, animal paddocks with shelters, an outdoor riding ring and small storage building as per consultants Fill Deposit Plan and Details dated 15 May 2025.

The deposit of approximately 5,855 cubic metres of crushed aggregate fill is required for Phase 1 of the earthworks. Over fill placement beyond the property boundaries is not anticipated but some project coordination with District may be necessary for future pathway construction. Future phases of soil deposits to complete the equestrian uses would be administered in accordance with applicable regulation and bylaws.

While the soil removal and deposit Bylaw stipulates a 7m buffer zone around areas of deposit or removal to property boundaries, the finished ground elevation will result in negligible change from preconstruction ground height, it is appropriate to allow a temporary encroachment into the buffer zone for construction of the paddocks. The project Geotechnical Engineers will regularly monitor the progress of the excavation and advise the applicant on additional mitigation measures as required.

Soil removal location and fill source for the imported aggregate has not been confirmed but likely Peninsula Rock Products Ltd. in North Saanich. Issuance of permit will occur after these details have been provided. Trucking routes to and from the removal site(s) will follow the established routes of the Truck Route Bylaw. Note: applicant has been made aware of an additional permit application need, if soil removal location chosen is within the District of Central Saanich.

The application submitted included a sealed Report and Fill Deposit Plan prepared by the geotechnical firm of Coast Geotechnical Consulting Ltd., which detail the technical considerations of interest to the District and staff confirm that the general requirements have been met.

Planning department staff reviewed the plans and determined that the proposed work at 7210 Wallace Drive does not require a development permit application as the works are considered regular farm practices and therefore exempt from and Environmental Development Permit. Any non-farm uses, such as residential uses, would require a development permit if located within the development permit area which consists of almost the entire property except for the northwest corner.

CONCLUSION:

Staff have reviewed the application for the placement of fill at 7210 Wallace Drive and confirm compliance with the Central Saanich Zoning Bylaw 2180 and Soil Deposit and Removal Bylaw 1544.

Report written by:	Brad Munro, CET, Senior Engineering Technician
Respectfully submitted by:	Dale Puskas, Director of Engineering
Concurrence by:	Jarret Matanowitsch, Director of Planning and Building Services
Concurrence by:	Jarret Matanowitsch, Acting Chief Administrative Officer

ATTACHMENTS:

Appendix A: Application to Place Fill in the ALR

Appendix B: Geotechnical Report and Deposit Site Plan

Appendix C: Central Saanich Soil Removal and Deposit Application



Provincial Agricultural Land Commission - Applicant Submission

Application ID: 103700
Application Type: Placement of Fill within the ALR
Status: Submitted to L/FNG
Name: Asano et al.
Local/First Nation Government: District of Central Saanich

1. Parcel(s) Under Application

Parcel #1

Parcel Type Fee Simple
Legal Description LOT A SECTION 10 RANGE 2 EAST SOUTH SAANICH DISTRICT PLAN EPP48881
Approx. Map Area 8.32ha
PID 029-663-806
Purchase Date Jan 23, 2025
Farm Classification Yes
Civic Address 7210 Wallace Drive,
Certificate Of Title wallace_title.pdf

Land Owner(s)	Organization	Phone	Email	Corporate Summary
Bruce Livingstone	Not Applicable	2505167954	bitter@me.com	Not Applicable
Jessica Asano	Not Applicable	2508843835	jasano@thunderb irdinsurance.com	Not Applicable

2. Other Owned Parcels

Do any of the land owners added previously own or lease other parcels that might inform this application process? No

3. Primary Contact

Type	Third-Party Agent
First Name	Troy
Last Name	Swindell
Organization (If Applicable)	No Data
Phone	2505169836
Email	troy@silverstoneequestrian.com

4. Government

Local or First Nation Government: District of Central Saanich

5. Land Use

Land Use of Parcel(s) under Application

Describe all agriculture that currently takes place on the parcel(s). Currently there is no agricultural activity on the land, it has been sitting unused for a number of years

Describe all agricultural improvements made to the parcel(s). No Agricultural Improvements

Describe all other uses that currently take place on the parcel(s). No current activity

Land Use of Adjacent Parcels

	Main Land Use Type	Specific Activity
North	Agricultural / Farm	Small hobby farms
East	Agricultural / Farm	Small hobby farms
South	Agricultural / Farm	Small hobby farms
West	Civic / Institutional	High School

6. Proposal

Are you removing soil and placing fill in order to build a structure? Yes

Has the ALC previously received an application or Notice of Intent for this proposal? No

What is the purpose of the proposal? Looking to bring in fill (crushed stone aggregate) material to construct a dry area for the construction of horse paddocks and shelters as well as an outdoor riding arena.

Placement of Fill Project Duration 3 months

Fill to be Placed

Volume 4000 m³

Area 8500 m²

Maximum Depth 0.9 m

Average Depth 0.45 m

Fill already Placed

Volume	0 m ³
Area	0 m ²
Maximum Depth	0 m
Average Depth	0 m

Describe the type of soil proposed to be removed. Shot rock, road base. All material will be stone aggregate

The total floor area (m²) for each of the proposed structure(s)

#	Type	Area
1	Farm Structure	27 m ²

Describe how the structure is necessary for farm use Proposing to construct 20 horse shelters, each containing 2 stalls measuring 12'x12' (3.7mx3.7m)

Describe the current or proposed agricultural activity on the parcel(s) Equestrian breeding, training and lesson facility

Proposal Map / Site Plan Barns-14.pdf

Detailed Building Plan(s) 25013 - Silverstone - 2025-03-12.pdf

7. Optional Documents

Type	Description	File Name
	No Data	

Silver Stone Industries Inc.
Sent via email to: troy@silverstoneequestrian.com

Revised July 7, 2025
Project No. 25-1103

Attn: Troy Swindell

Re: **Revised Geotechnical Assessment for Fill Deposit
Located at 7210 Wallace Drive, Central Saanich, BC**

1.0 INTRODUCTION

We understand that the deposition of fill soil is proposed at 7210 Wallace Drive in Central Saanich, BC. We understand that soil deposits are governed by *Bylaw No. 1544, A Bylaw to Regulate the removal or deposit of Soil from Lands within the District of Central Saanich*. A requirement of the permit application for volumes in excess of 1000 m³ is the inclusion of detailed plans, data, and specifications for the proposed site. For these purposes, this report includes:

- Background information and site description.
- A summary of our site assessment conducted on March 20th, 2025.
- A desktop study was also conducted to review available satellite imagery, contour data and geological maps.
- **Soil Deposit Plan Drawings (attached)** including a site plan with contours and proposed cross sections.
- Recommendations for permanent drainage including impact of the proposed work.
- Recommendations for methodology, placement, and compaction, permanent slopes, drainage, and revegetation.
- Confirmed suitability of the proposed stormwater management plan

This report has been prepared for the exclusive use of the client, Silver Stone Inc., and their design and construction team. We understand that the *District of Central Saanich* may rely on this report as part of their permitting process; therefore, the *District of Central Saanich* is considered an authorized user of this report.

2.0 BACKGROUND & SITE DESCRIPTION

The proposed site is located at 7210 Wallace Drive in Central Saanich, BC and is a large rural residential property, approximately 7.9 hectares in area. The topography slopes down from north to south, forming 3 nearly level benches on the property.

We have been provided with the following documents in preparation of this report:

- *Design Plans by Guliker Design Group dated March 13, 2025*
- *Site Plan by Wey Mayenburg Land Surveying Inc. dated February 19, 2025*
- *Report of Geotechnical Investigation by Brimmell Engineering Ltd. dated December 11, 2020*
- *Revised Report of Geotechnical Investigation by Brimmell Engineering Ltd. dated December 31, 2020*

Based on our discussions with the contractor, we understand the proposed volume of imported fill that will be deposited on-site is approximately 11,500 m³. The fill deposit will be divided into at least two phases with Phase 1 proposed to begin upon approval of the soil deposit permit. Phase 2 will depend on economic factors and may not happen for years.

Previous geotechnical investigation was performed by Brimmell Engineering Ltd. in 2020. The north section of the site was found to consist of silty topsoil overlying stiff clay underlain by a dense sand and gravel till and the south section of the site found to consist of silty topsoil overlying stiff clay underlain by firm to soft bluish-grey silty clay overlying dense sand and gravel till.



Figure 1: Site Location from CRD Regional Map (2023 Imagery)

3.0 SITE VISIT

Coast Geotechnical conducted a site visit on March 20th, 31st, and May 30th 2025, to inspect the proposed fill deposit areas and existing topography. Below is a summary of our key observations and the information provided by the client:

- The site can be accessed from the north driveway access off Stelly's Cross Road and from the southeast driveway access off Wallace Drive. There is currently an existing warehouse building located at the south entrance of the property.
- At the time of our visit, no fill activities were underway. Based on our observations on-site, and our understanding of the proposed works, the silty topsoil material will be excavated to firm bearing soils between 0.3 m to 0.6 m below ground surface (mbgs) before the placement of compact clean granular fill soils to construct three riding arenas. Fill soils will be placed for storage, paddocks and shelters.
- Graham Creek runs along the eastern side of the property and an existing ditch runs east to west into an existing ditch in the right of way on the west property line of the subject site.
- The existing grade increases ~4 m in elevation to the northwest corner. The site access is gravel capped.
- The existing grade is predominantly flat, with three approximately level benches separated by moderate slopes. We understand it is proposed to raise the grades approximately 0.3 m above the existing grades for the riding arenas.
- A static cone penetrometer was used to assess the existing soil conditions and firm bearing was encountered between 0.3 to 0.6 mbgs.

4.0 ASSESSMENT & RECOMMENDATIONS

Based on our review and assessment, the subject area provides favorable conditions for a proposed fill deposit. The area is benched sloping from north to south. The fill is proposed to raise the grade minimally. The proposed plan includes significant vegetation, a pond, and open channel ditches to maintain stormwater on site. The stiff soils are benched with only moderately sloped areas making it favorable in terms of slope stability. We expect the proposed work to have a limited impact on runoff and drainage provided our recommendations are implemented. It is our opinion that the proposed fill deposit can be realized as proposed and is safe for its intended use provided following conditions are incorporated during construction.

4.1 Stability of Fill Slope Angles

The intent of the deposition of fill soils is to create riding rings, paddocks and shelters for horses, and storage areas. The maximum proposed height of slope to be constructed is 0.3 m with slopes ranging from 2H:1V to 1H:1V. The fill slopes are proposed to consist of a compact crushed granular fill topped with sand. The fill slopes will be a maximum of 0.5 m above the surrounding grade; based on the material, the angle of repose, and the slope length, we do not foresee slope stability issues.

We recommend a minimum factor of safety of 1.5 for static conditions based on the proposed site use. We have assumed the fill deposit consisting of sand overlying gravel to have a unit weight of 19 kN/m³ and a friction angle of 34 degrees. Published values for the angle of repose of dry sand ranges from 32 to 40 degrees and the angle of repose of compact sandy gravel is 40 to 45 degrees.

To assess the stability of the slope, we used the Tsytovich Slope Stability method (1976) to determine the factor of safety using the internal friction angle and coefficients which are the result of height and distance from toe of slope to hard underground layer. The results indicate a factor of safety of 3.6 can be achieved where the 0.3 m high slopes are oriented 45 degrees (1H:1V) or shallower.

Coast Geotechnical to provide periodic reviews and work instruction during the construction of the perimeter slopes.

4.2 Fill Placement and Compaction

Fill should consist of clean soil without contamination or excessive organic content. We understand that 0.3 to 0.6 m of crushed aggregate fill topped with approximately 0.3 m of sand is proposed for the riding arenas and that the proposed storage and paddocks will consist of approximately 0.3 to 0.6 m of compacted crushed aggregate fill. Fill should be placed in maximum lift thicknesses of 300 mm and compacted using a 454-kg plate compactor.

Fills placed for structural support of foundation elements should consist of clean, well-graded, granular material with a less than 10% fines content passing the No. 200 sieve. A specification sheet may be provided by the supplier for imported granular fills or blast rock fills may be submitted to Coast Geotechnical for Grain Size Analysis to confirm less than 10% fines pass the No. 200 sieve. All engineered fills should be compacted to a minimum of 98% Standard Proctor (ASTM D698), or judged equivalent, at a moisture content within 2% of optimum. Typically, a 300 mm loose lift of gravel requires moisture conditioning and approximately 6 passes with a 450 kg vibratory plate tamper to achieve the required degree of compaction. All Engineered Fill should be placed in lift thicknesses compatible with the compaction equipment being used to a maximum lift thickness of 300 mm for plate tampers and 450 mm for large vibratory rollers. See our appended engineered fill guidelines.

4.3 Hydrological Considerations

The subject site is bound to the west by Lot 1 Plan EPP141098, a strip of land running north – south. The north portion of this adjacent lot is at a higher elevation than the subject site; therefore, the hydrological function and drainage capacity of the north section will not be affected by the proposed soil deposit. There is an existing ditch that runs east – west across the subject site and discharges into the existing ditch on the south portion of the adjacent lot. It is proposed to maintain the existing ditch. To manage surface water and hydrology of the subject site, a combination of grading, partial infiltration swales, and one to three detention ponds are proposed to capture and slow as well as store and convey stormwater using the fundamental concepts of the *CRD Green Stormwater Infrastructure Guidelines*. A vegetated buffer is proposed along the east side of the subject site adjacent to Graham Creek to enhance and protect the creek.

All streams, watercourses, wetlands, and drainage facilities must be kept free of silt, clay, sand, debris, and other materials attributable to the soil deposit activity. The watercourse known as Graham Creek runs north-south through the existing right of way on the east side of the property. Graham Creek is a tributary of Hagan Creek and falls within the Hagan Creek Watershed. It is proposed to use excavated soil to create a vegetated soil berm to prevent sediment transport and surface runoff from reaching the creek.

The proposed fill deposit will be sloped such that surface water runoff will be directed by vegetated swales, partial infiltration swales, or buried pipes to ponds for storage and detention.

The proposed development does not include habitable spaces. Therefore, a Flood Construction Level is not required as there will be no habitable space within the potential flood area. The proposed horse shelters are “open-sided” and per the Ministry of Agriculture Flood Construction Levels guidelines, flood proofing by elevation is not required for open-sided livestock structures.

4.4 Erosion & Sediment Control Plan

To prevent the transfer of sediment offsite, haul trucks should be limited to stabilized gravel-capped access pads on the site or have wheels cleaned with an installed tire-washing base prior to leaving the site. As constructed, all fill slopes should be surface roughened by a method such as horizontal machine tracking.

Proposed drainage swales should be lined with gravel and cobbles and/or vegetated to minimize erosive potential; the swales should be constructed at a minimum 2% slope toward detention ponds.

It is proposed to construct a soil berm to prevent sediment transport into Graham Creek. Straw wattle, temporary silt fences or gravel berms should be used on the creek side at base of the slope to slow and filter sediment-laden water until vegetation is established. Exposed soils are to be covered while not in active use in anticipation of heavy precipitation events. Tarps, poly, geotextile, straw wattle, or logging slash may be used. See attached *Soil Deposit Plan Drawings*.

As part of the site’s temporary erosion and sedimentation control strategy during construction, silt fencing will be employed as an added layer of environmental protection. These fences will be strategically installed along downgradient site boundaries, particularly adjacent to Graham Creek and along roadside drainage ditches, to prevent the migration of sediment-laden runoff into nearby watercourses and sensitive areas, as well as where the truck wheel wash is located.

The silt fencing acts as a physical barrier, effectively intercepting sediment before it can be carried offsite by overland flow. This measure is especially important during phases of earthworks, grading, and other soil disturbances when the site is most vulnerable to erosion. The fencing will remain in place until permanent erosion control measures—namely hydroseeding and vegetative stabilization—have been fully implemented and are well-established. Once hydroseeding is complete and the vegetation has taken root, the silt fencing will be carefully removed, and the disturbed areas will be monitored to ensure ongoing stability.

This approach is in line with best management practices for construction site runoff and demonstrates a proactive effort to protect downstream ecosystems, maintain water quality, and comply with regulatory expectations for environmentally responsible site development.

4.5 Surface Water Management Plan Bylaw 1606, Amendments 1967, 1980

All construction activities are to comply with Central Saanich Surface Water Management Plan Bylaw 1606. The proposed construction of impermeable surfaces for Phase 1 of the project consists of a storage building and stables with a cumulative area of 5550 m²

If the on-site stormwater management system is to be connected to the municipal storm drainage system, the maximum orifice diameter for the greater than 10,000 m² lot is 120 mm.

Coast Geotechnical understands that surface water management within the District of Central Saanich must be conducted in accordance with Bylaw Nos. 1606, 1697, and 1980. These bylaws regulate the control, conveyance, and discharge of stormwater to minimize environmental impact and reduce the potential for

off-site drainage concerns. In order to satisfy this bylaw requirement, the west property line is to have a berm prepared, with a geometry of 2H:1V and a minimum of 0.3m elevation which is proud (higher) than the final surrounding grade of the paddocks, shelters, outdoor riding arena, in order to prevent runoff to the neighbouring property. The berms are to be seeded to contain water within the property to encourage plant growth and capillary effect.

Based on the review of Schedule B of Bylaw No. 1606 (Surface Water Management Plan), the geotechnical recommendations provided herein address all pertinent checklist items applicable to the proposed development. These include considerations for on-site stormwater retention, infiltration, conveyance, and discharge control.

Given the site-specific conditions and adherence to the local bylaws, we do not anticipate that post-construction surface water discharge flows will negatively impact neighbouring or downstream properties. The recommendations in this report are intended to support compliance with municipal expectations and promote sustainable site development. Each individual impermeable surface— including buildings, storage areas, and horse paddocks—will have an area of less than 400 m², in accordance with municipal bylaw requirements.

4.6 Stormwater Management Plan

This development has been evaluated using established stormwater engineering practices to ensure effective runoff management during peak rainfall events. The **Rational Method** ($Q = C \times I \times A$) was used to estimate runoff rates, where Q is peak runoff in cubic meters per second, C is the runoff coefficient, I is rainfall intensity in millimeters per hour, and A is the contributing drainage area in hectares. The analysis began by reviewing the site plan in both pre- and post-development conditions. Each scenario was divided by surface cover type—such as vegetated field, gravel driveway, and roof—and areas were measured accordingly. Typical runoff coefficients were then assigned based on ground cover: 0.2–0.3 for vegetated surfaces, 0.5–0.6 for gravel, and up to 0.9 for roofs or other fully impervious areas.

Rainfall intensity data was sourced from regional IDF curves, and a 2-year return period was selected for design verification, with durations ranging from 5-minute to 24-hour events reviewed as part of the process. Using the Rational Method, both pre- and post-development peak flows were calculated, and where applicable, total volumes were estimated by multiplying peak flow by storm duration.

For the purpose of evaluating infiltration and designing storage volumes, a highly conservative assumption was made: by using the lowest practical infiltration rate, 0.1 mm/hr, which was used throughout the calculations to reflect the site's stiff clay subgrade, ensuring that essentially minimal infiltration was credited in volume reduction. This assumption provides a cautious approach and aligns with worst-case design scenarios.

Runoff on site follows gentle overland slopes that direct flow toward existing roadside ditches and a newly designed partial infiltration swale. Based on site grading and runoff estimates, the required peak storage volume was calculated to be approximately 75.81 cubic meters. To manage this runoff, a combination of swale and detention pond storage has been incorporated into the design.

The swale was designed with a minimum width of 0.8 meters, an approximate linear length of 450 meters, and an average depth of 0.3 meters, resulting in a conservative estimated storage capacity of 70.2 cubic meters. While termed a “partial infiltration” swale, infiltration was not credited toward storage due to the subgrade's low permeability. In addition to the swale, three detention ponds are to be placed strategically on site, each with a base area of 11 square meters and a depth of 0.6 meters, resulting in a combined

storage volume of 7.2 cubic meters. During calculations, only one storage pond was considered, however in reality, there are 2 additional storage ponds for a total of 3.

Altogether, the swale and pond(s) provide a minimum total storage volume of 77.4 cubic meters, offering conservative water storage. This ample buffer ensures the system is capable of managing stormwater effectively even during more severe or prolonged rainfall events and provides a robust, conservative solution consistent with modern municipal best practices for stormwater management in areas with low-permeability soils. The capillary effect and absorption of the hydroseeding and planting was not considered in the calculations.

Given the 300mm to 600mm thick crushed granular fill which is to be placed below the proposed structures, and the gentle grading towards the ditches, splash pads may be suitable for roof drainage.

4.7 Other Considerations

Creating a naturally vegetated surficial cover is expected to help control the erosion of slopes and improve stability and mitigate visual impact of soil deposits by maintaining a natural appearance. Exposed soils should be vegetated by seeding, hydroseeding, or sod as soon as earthworks are complete to encourage new growth. To promote long-term slope stability, vegetation such as grass, fall rye, or other deep-rooted ground cover options must be established promptly. We understand the owner wishes to plant trees on site to provide a buffer zone for Graham Creek and to assist with drainage. Moisture conditioning may be required to mitigate dust. Water should be available on site at all times to reduce disturbance of dry fine-grained soils and dust.

Given the site's location within the centrally positioned Hagan-Graham Creek watershed, we recognize the ecological sensitivity of the area, including its importance to local fauna, flora, and fish habitat. In response to this, the proposed development incorporates a series of proactive control measures—including strategically placed silt fencing, conservative overland flow management, and vegetative stabilization—to minimize disturbance and prevent the migration of sediment. Based on the design and implementation of these controls, and bylaw adherence we do not anticipate any contamination or adverse impact to water quality within the watershed as a result of sediment runoff during construction or post-development phases.

In accordance with provincial and EGBC flood hazard guidelines, a minimum 0.6 m freeboard above the peak flood level is typically recommended as the Flood Construction Level (FCL) for all habitable or vulnerable buildings. This elevation applies to the underside of the floor system or the top of slab, ensuring critical infrastructure remains protected during extreme flood events, such as the 1:200-year design storm. However, in this case, the proposed development is situated on agricultural land with no habitable structures or buildings considered vulnerable to flooding. As such, while the site does fall within the mapped floodplain of Graham Creek, the FCL criteria are not directly applicable to the current land use. The absence of residential or commercial occupancy reduces flood risk exposure. Nevertheless, the floodplain designation has been acknowledged in the design, and grading has been planned to promote positive overland flow away from Graham Creek, further mitigating potential impacts from seasonal or peak storm flows and thus encouraging natural overland flow to promote plant growth.

4.8 Bylaw 1544

A site plan has been prepared and attached to the report showing the existing contours, all pertinent features as defined in Section 11. a., proposed slopes, proposed drainage and erosion controls, grade and width of

berms, water table elevations, and the proposed schedule of deposit of soil with estimated weekly deposit volumes.

The soil to be imported will be locally sourced granular fill. It is not expected to have organic content, and the fines content is recommended to be less than 10% by weight passing the #200 sieve. The proposed fill soils are a 150 mm minus granular fill and a sand fill for the riding arenas. The angles of repose for crushed aggregate and coarse sand are respectively 40 – 42 degrees and 30 to 35 degrees. The fill soils will be compacted. The maximum height of slope above surrounding grade will be 0.3 m.

Mechanical excavation will be used to advance to firm bearing soils. Excavated material will be re-used to create soil berms, level pasture areas, and grade the surface to direct runoff to swales and ponds.

We understand that the granular fill soils will be acquired from Peninsula Rock Products located at 1555 Wain Road, North Saanich. We expect that under normal traffic conditions, the route to site would be east on Wain Road taking Swartz Bay Road onto the Patricia Bay Highway, exiting via Mt. Newton X Road before turning onto Wallace Road. The site will be accessed via driveways off Wallace Drive and Stelly's X Road. Alternate routes may include exit via McTavish Road to East Saanich Road before turning onto Wallace Road and starting west on Wain Road to West Saanich Road before turning onto Wallace Road.

Due to the dual access driveway on the property, trucks will be able to drive straight through the site. There is also a large gravel area for trucks to turn around on site if necessary. The 19.544-acre property can accommodate storage of material on site. We do not expect the trucking to have a significant effect on the local traffic pattern.

The proposed soil deposit is to facilitate equestrian activities which falls under permitted uses per the Agricultural Land Commission Act. The lack of organics or fines content will reduce the potential for dust. It is not proposed to remove soil from site. On-site soil will be used to create vegetated soil berms to prevent surface water runoff and erosion. Where possible, surface water will be allowed to infiltrate and directed into detention ponds by grading and vegetated swales.

4.9 Schedule of Soil Deposition

We expect that once the soil deposit is approved, 15 truck loads per day will be deposited on weekdays. The estimated total volume to be deposited in Phase 1 is 5855 m³. The industry standard value for the void ratio of granular aggregate of 35% which has been accounted for in the trucking capacity and schedule. Below is the projected schedule of soil deposits for Phase 1. We do not expect that a Traffic Plan is necessary as the proposed schedule consists of 2 trucks per hour accessing the site. There is sufficient space and existing gravel-capped area to accommodate multiple trucks, truck turnarounds, and soil stockpiles.

It should be noted that the volume of fill may vary for Phase 1. This will be determined by the depth of excavation for firm bearing soils for the riding rings and footings for the storage, and paddocks & shelters. Documentation to confirm proposed fill volumes can be provided at the time of excavation upon subgrade review by Coast Geotechnical. The number of weeks is expected to be 8 based on the proposed depths, fill volumes, and trucking schedules.

Week	Double Axle Truckloads (13 US Tons)	Weekly Volume (m ³)	Cumulative Volume (m ³)
1	75	496	496
2	75	496	991
3	75	496	1487
4	75	496	1982
5	75	496	2478
6	75	496	2973
7	75	496	3469
8	75	496	3964
9	75	496	4460
10	75	496	4955
11	75	496	5451
12	61	403	5854

5.0 GEOTECHNICAL FIELD REVIEWS

We recommend periodic geotechnical reviews as the work is completed to confirm the recommendations provided herein are effectively communicated to the operators and crew. We expect that the above recommendations and controls will allow for the deposition of soil without nuisance or adverse effects and prevent any future erosion; however ongoing maintenance may be necessary until sufficient vegetation is established.

It is the client / contractors' responsibility to advise Coast Geotechnical (a minimum of 48 hours in advance) when the work described herein is expected to commence. Based on the recommendations contained in this report, the following geotechnical field reviews are required at the following stages of the project:

Erosion Controls	Review the recommended erosion and sediment control measures have been installed according to the attached <i>Soil Deposit Plan</i> and are maintained throughout construction. Reviews required after significant precipitation events to ensure efficacy.
Subgrade Review	Coast Geotechnical to review subgrade where foundation elements are proposed. Review of excavation extents to ensure minimum 1H:1V splay can be achieved.
Fill Placement Review	Review of each 1 m of fill to ensure proper placement, compaction, and that slopes do not exceed 1H:1V.
Vegetation	Review to ensure seeding is completed and that vegetation is established for long-term stability.

Construction monitoring is required and should be undertaken by qualified personnel to verify that the minimum requirements contained in this report, as well as project specifications, are achieved. Recommendations herein may not be valid if an adequate level of inspection is not provided during construction, or if relevant building codes are not met. Additional field reviews may be required, depending on the characteristics of the site, the scope of work of the project, and the contractors' levels of experience.

6.0 CLOSURE

Coast Geotechnical has completed this report based on our interpretation and evaluation of the findings of the current assessment, review of available information, and recognized engineering principles and practice. The materials in this report reflect Coast Geotechnical's best judgement based on the information that was available at the time of this report. If conditions other than those noted are discovered during subsequent phases of the development, Coast Geotechnical should be given the opportunity to review and revise the recommendations included in this report, as necessary.

We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details or require clarification of the above, please do not hesitate to call.

Prepared By:

Reviewed by:



Alyse Munro, E.I.T.
Geotechnical Engineer-in-Training

Jacob Verheyden, P.Eng.
Geotechnical Engineer

For:

Coast Geotechnical Consulting Ltd.
Permit to Practice #: 1001639

ATTACHMENTS:

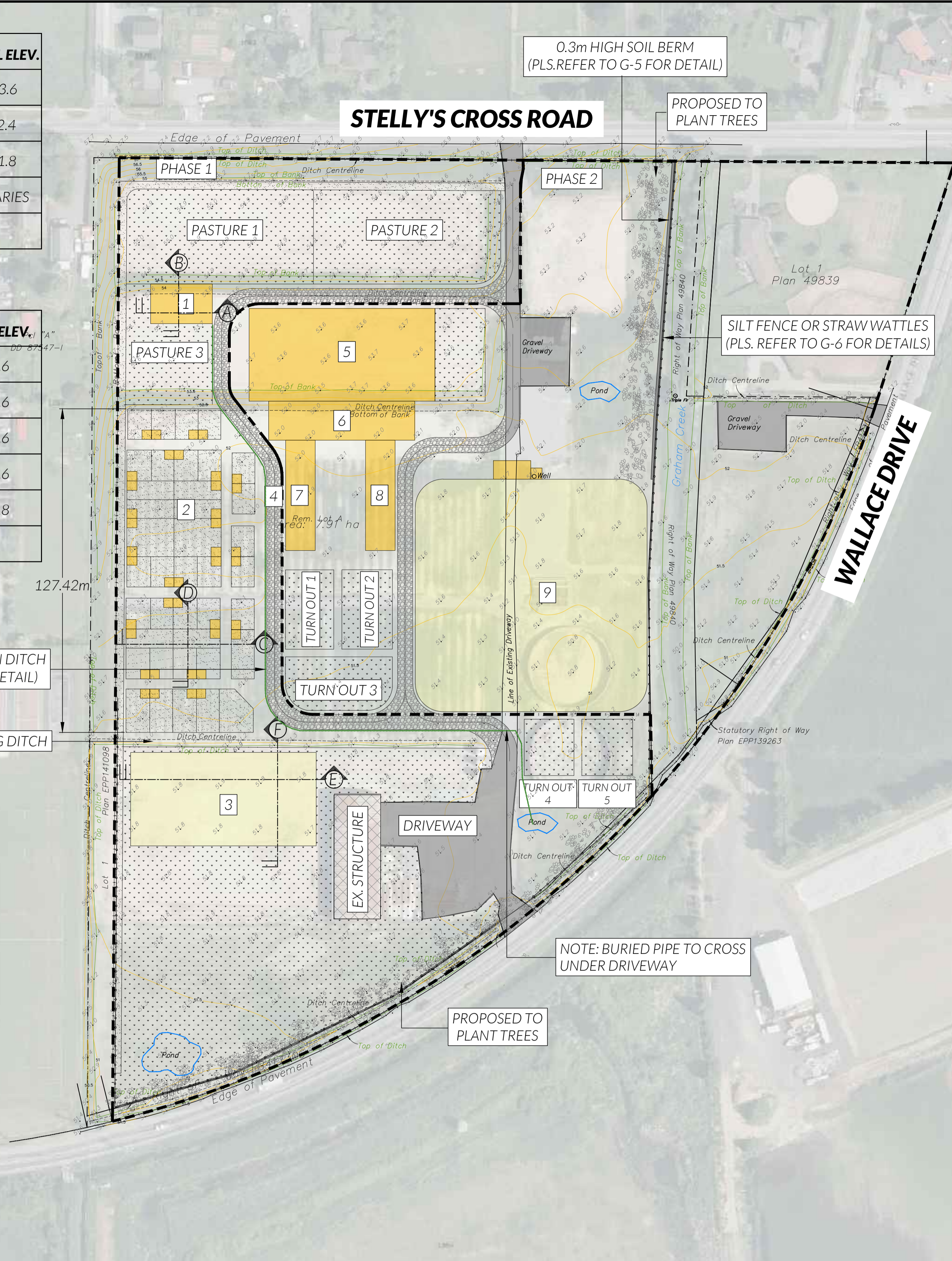
Site Plan
Sections
Erosion Sediment Perspective Drawings
Engineered Fill Guidelines

PHASE 1 : APRIL 2025

ITEM	LOCATION	LOT COVERAGE	SIZE (m)	AREA (m ²)	THICKNESS (m)	VOLUME (m ³)	FINAL ELEV.
1	STORAGE	0.49%	24.4 x 15.24	385	0.3	120	53.6
2	PADDOCKS & SHELTERS	6.53%		5,165	0.6	3,100	52.4
3	OUTDOOR RIDING ARENA 2	3.43%	73.2 x 36.6	2,715	0.6	1,650	51.8
4	PROPOSED GRAVEL DRIVEWAY	4.13%		3,270	0.3	985	VARIES
TOTAL VOLUME						5,855	

PHASE 2 : TBD

ITEM	LOCATION	SIZE (m)	AREA (m ²)	THICKNESS (m)	VOLUME (m ³)	FINAL ELEV.
5	INDOOR RIDING ARENA 1	73.2 x 36.6	2,715	1.0	2,715	53.6
6	RIDING UTILITY & STORAGE	57.3 x 15.24	895	1.0	895	53.6
7	HORSE STALLS 1	11.6 x 43.5	525	1.0	525	53.6
8	HORSE STALLS 2	11.6 x 43.5	525	1.0	525	53.6
9	OUTDOOR RIDING ARENA 1	91.44 x 91.44	8,420	1.0	8,420	52.8
TOTAL VOLUME					13,080	



PARTIAL INFILTRATION DITCH (REFER TO G-5 FOR DETAIL)

EXISTING DITCH

0.3m HIGH SOIL BERM (PLS. REFER TO G-5 FOR DETAIL)

PROPOSED TO PLANT TREES

SILT FENCE OR STRAW WATTLES (PLS. REFER TO G-6 FOR DETAILS)

NOTE: BURIED PIPE TO CROSS UNDER DRIVEWAY

PROPOSED TO PLANT TREES

0 10 20 30 40 50m
SCALE 1:1000

SITE PLAN
SCALE: 1 : 1000

BASE MAP TAKEN FROM CRD REGIONAL MAP, 2023 IMAGERY.
SITE PLAN TAKEN FROM GULIKER DESIGN GROUP INC. DATED 13 MARCH 2025.
CURRENT ELEVATIONS FROM WAY MAYENBURG SURVEY PLAN DATED 19 FEBRUARY 2025.

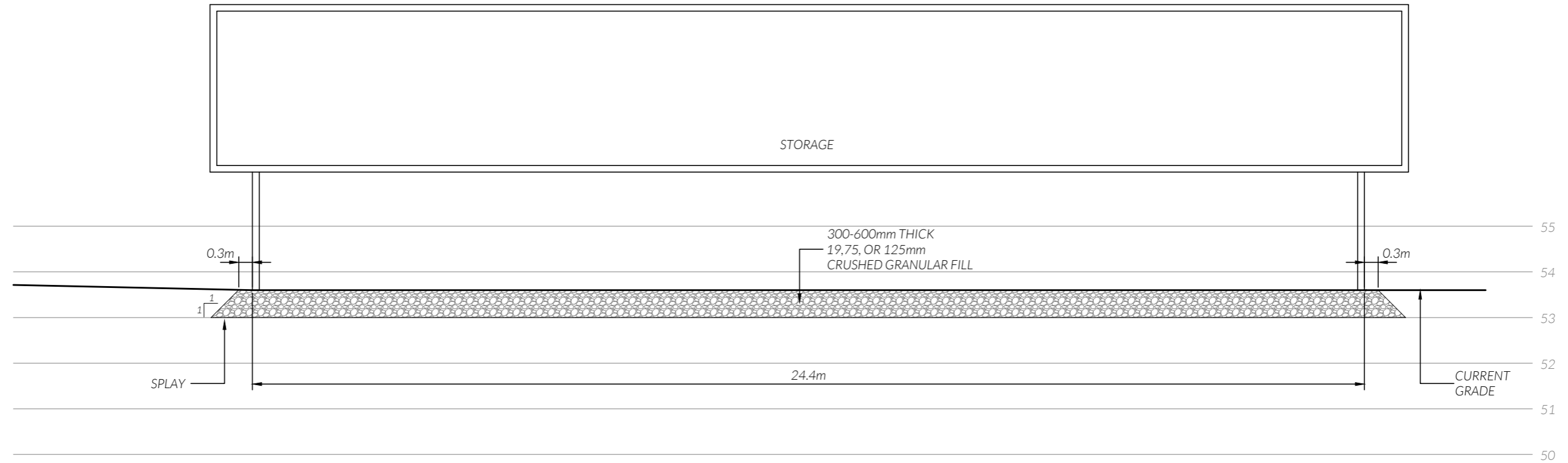
PROJECT NO:	25-1103
DATE:	MAY 15, 2025
DRAWING NO:	G-1

Coast Geotechnical
250-978-0704 | 101 - 4226 Commerce Circle, Victoria, B.C.

FILL DEPOSIT PLAN
7210 WALLACE DR, SAANICHTON

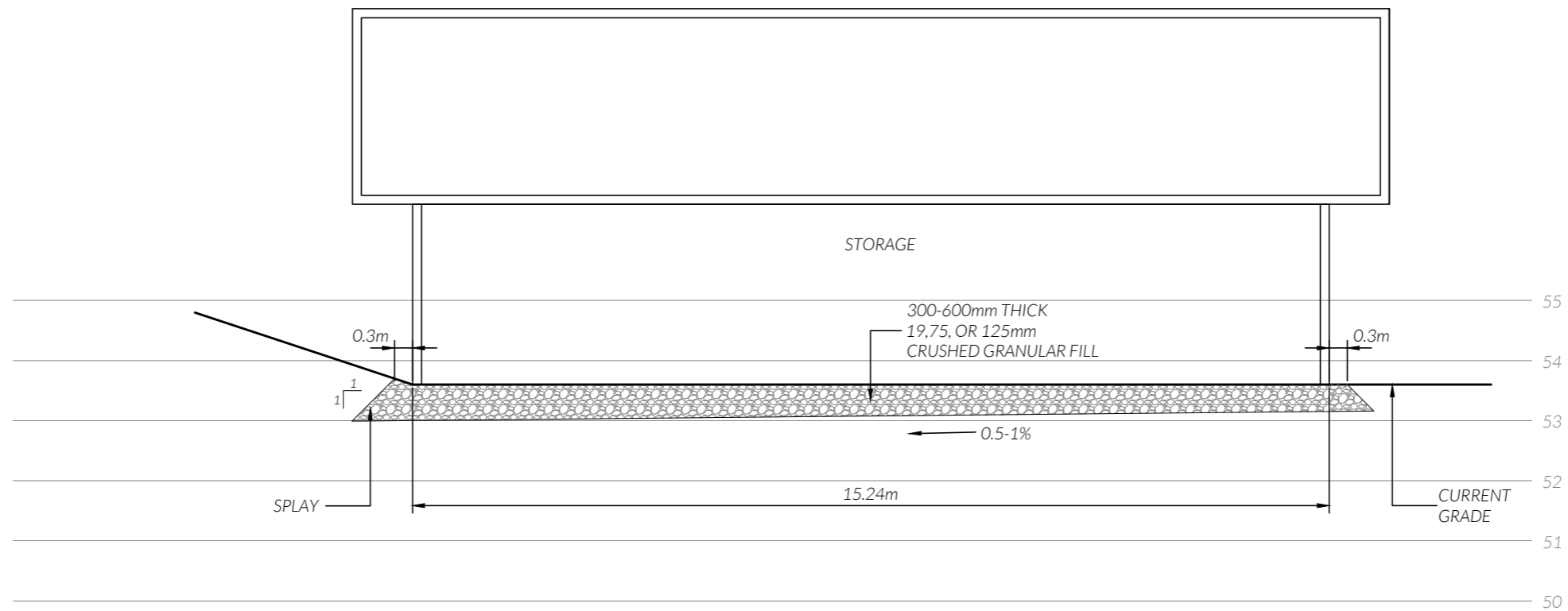
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	CHECKED:	B.S
	INDEPENDENT REVIEW:	

ORIGINAL PAPER SIZE 24"x36"



SECTION A-A

SCALE: 1:100



SECTION B-B

SCALE: 1:100

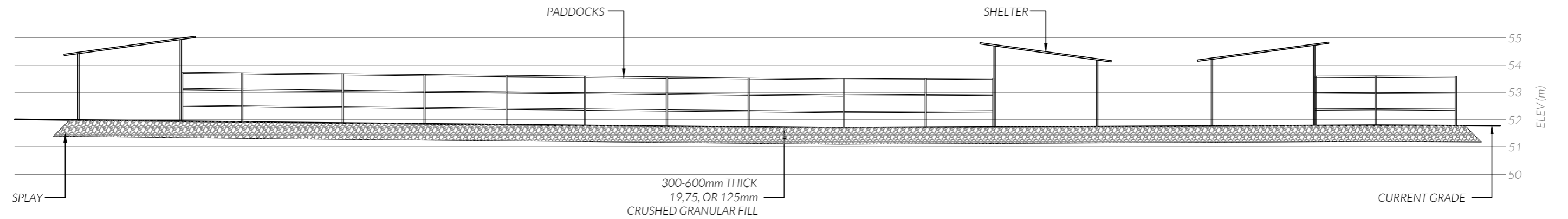
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PROJECT NO:	25-1103
DATE:	MAY 15, 2025
DRAWING NO:	G-2

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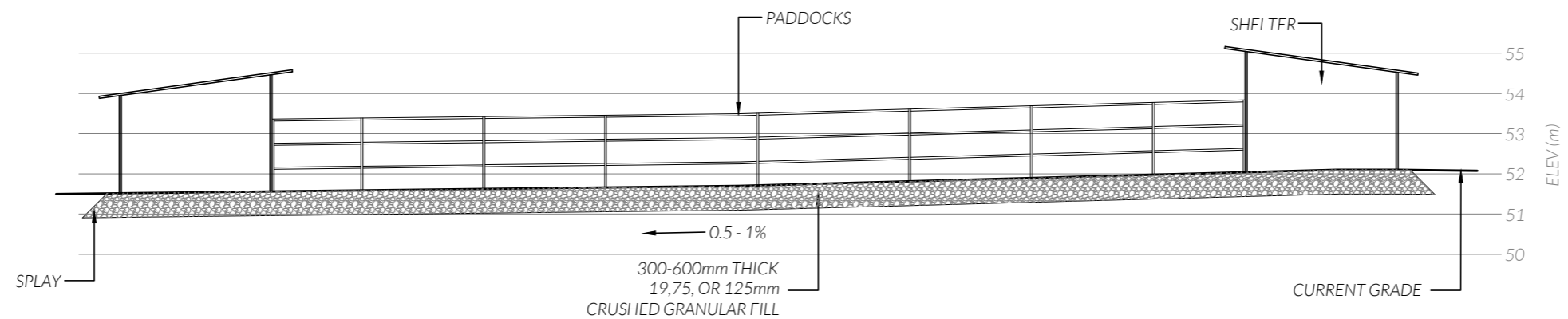
FILL DEPOSIT PLAN
7210 WALLACE DR, SAANICHTON
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VERSION / REVISIONS:	DRAWN:	J.A.A
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	CHECKED:	B.S
	INDEPENDENT REVIEW:	



SECTION C-C

SCALE: 1:150



SECTION D-D

SCALE: 1:150

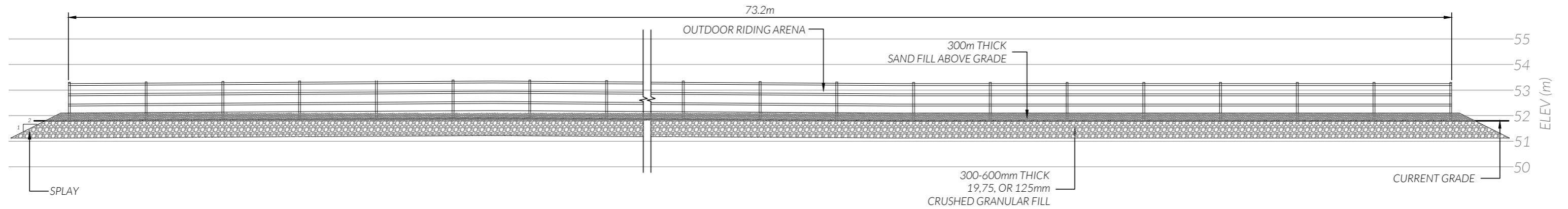
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DATE:	MAY 15, 2025
DRAWING NO:	G-3

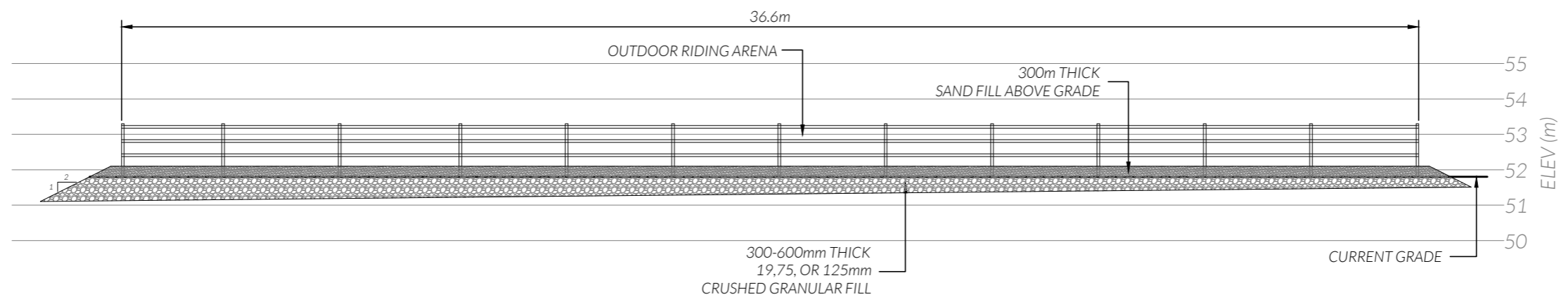
Coast Geotechnical 
 250-978-0704 | 101 - 4226 Commerce Circle, Victoria, B.C

FILL DEPOSIT PLAN
 7210 WALLACE DR, SAANICHTON
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VERSION / REVISIONS:		DRAWN:	J.A.A
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		CHECKED:	B.S
		INDEPENDENT REVIEW:	



SECTION E-E
SCALE: 1: 150



SECTION F-F
SCALE: 1: 150

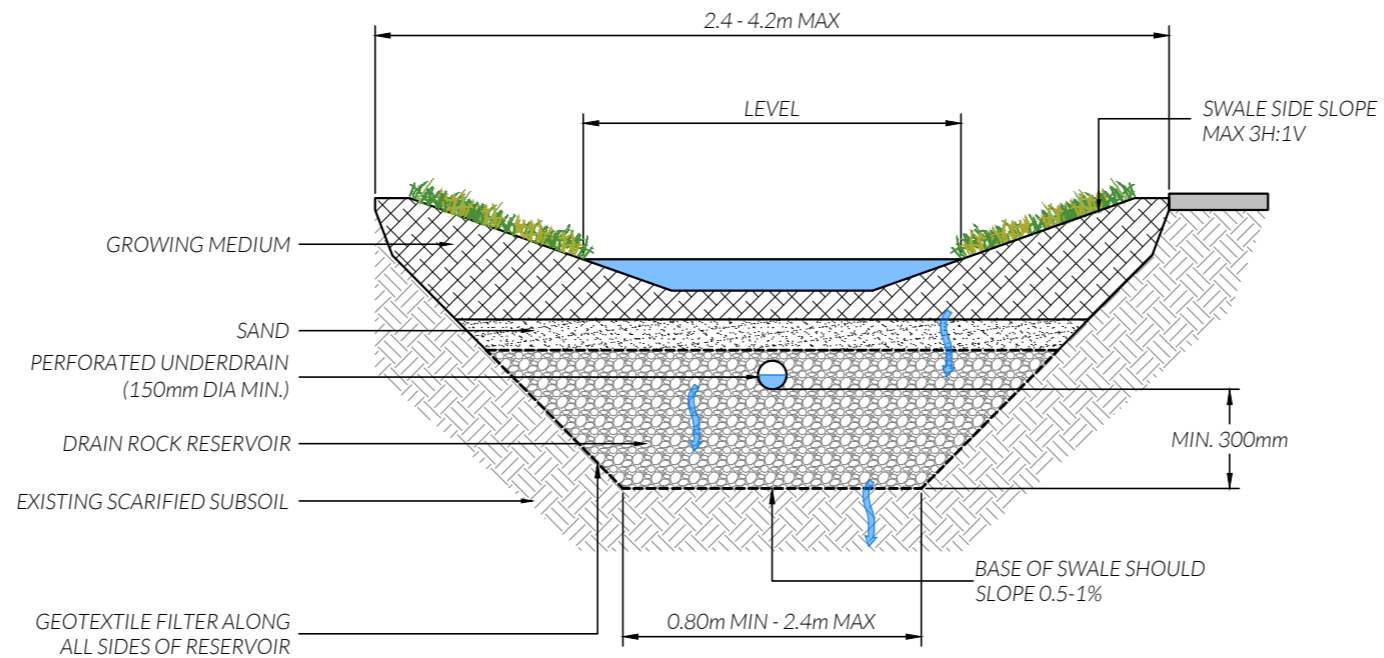
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PROJECT NO:	25-1103
DATE:	MAY 15, 2025
DRAWING NO:	G-4

Coast Geotechnical 
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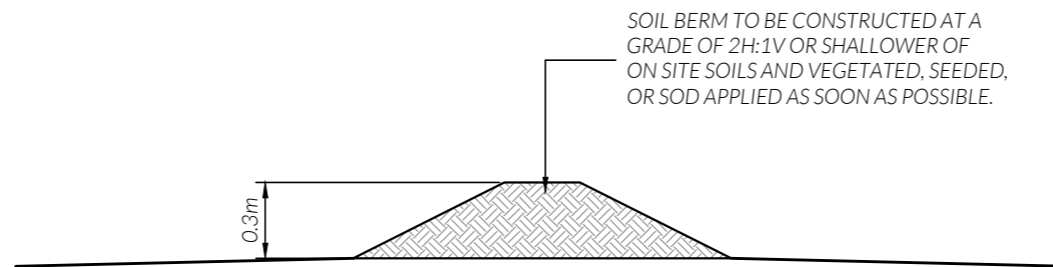
FILL DEPOSIT PLAN
7210 WALLACE DR, SAANICHTON
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	CHECKED:	B.S
	INDEPENDENT REVIEW:	



DITCH (PARTIAL INFILTRATION)

SCALE: N.T.S



SOIL BERM TYP.DETAIL

SCALE: N.T.S

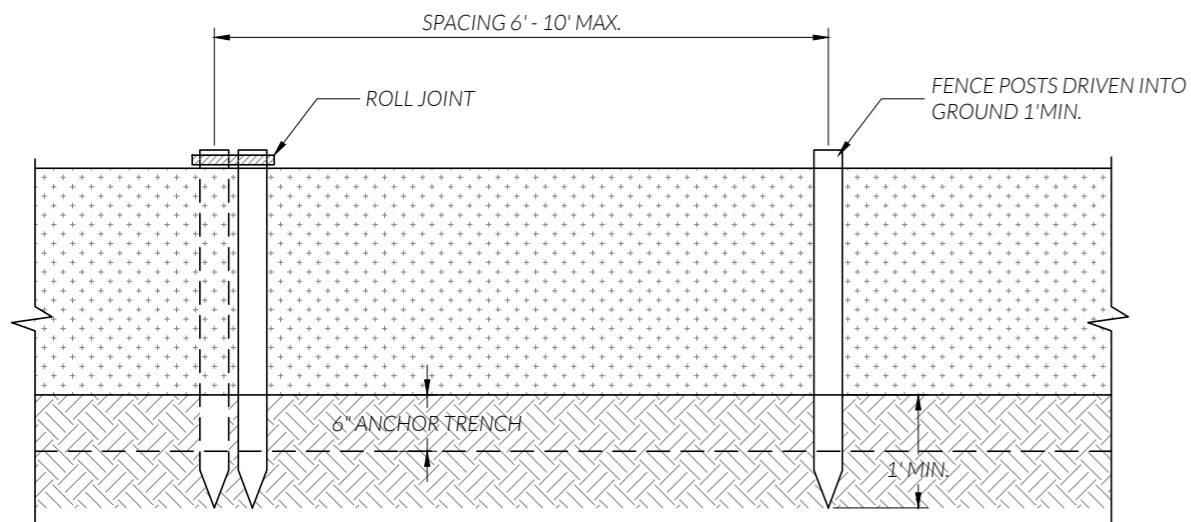
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DATE:	MAY 15, 2025
DRAWING NO:	G-5

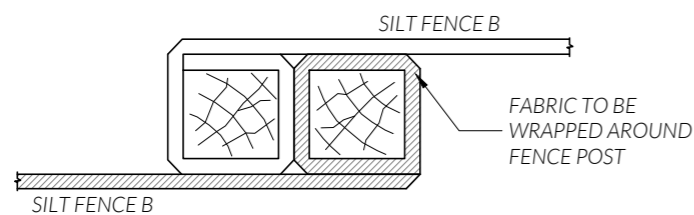
Coast Geotechnical 
 250-978-0704 | 101 - 4226 Commerce Circle, Victoria, B.C

FILL DEPOSIT PLAN
 7210 WALLACE DR. SAANICHTON
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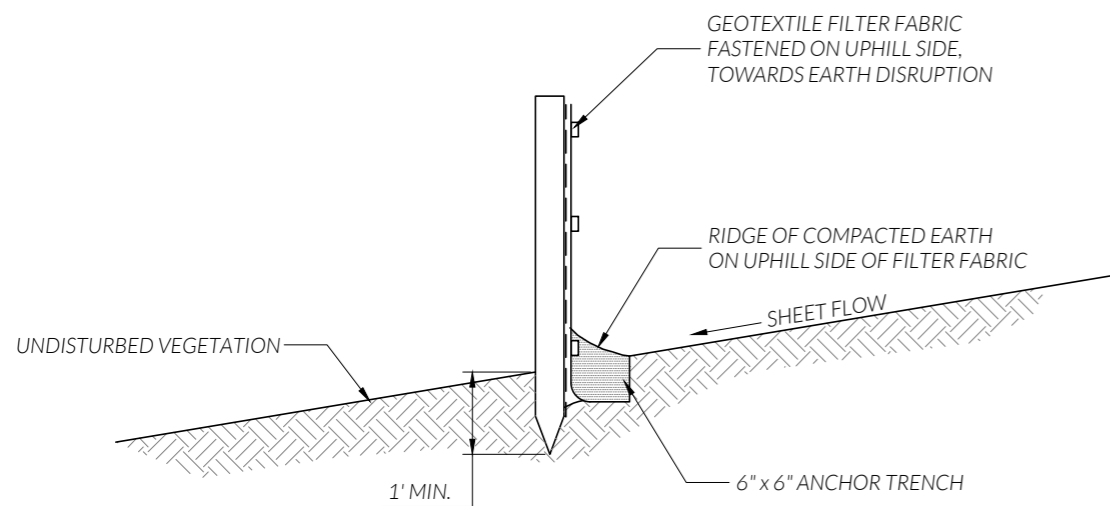
VERSION / REVISIONS:	DRAWN:	J.A.A
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	INDEPENDENT REVIEW:	



ELEVATION



ROLL JOINTS



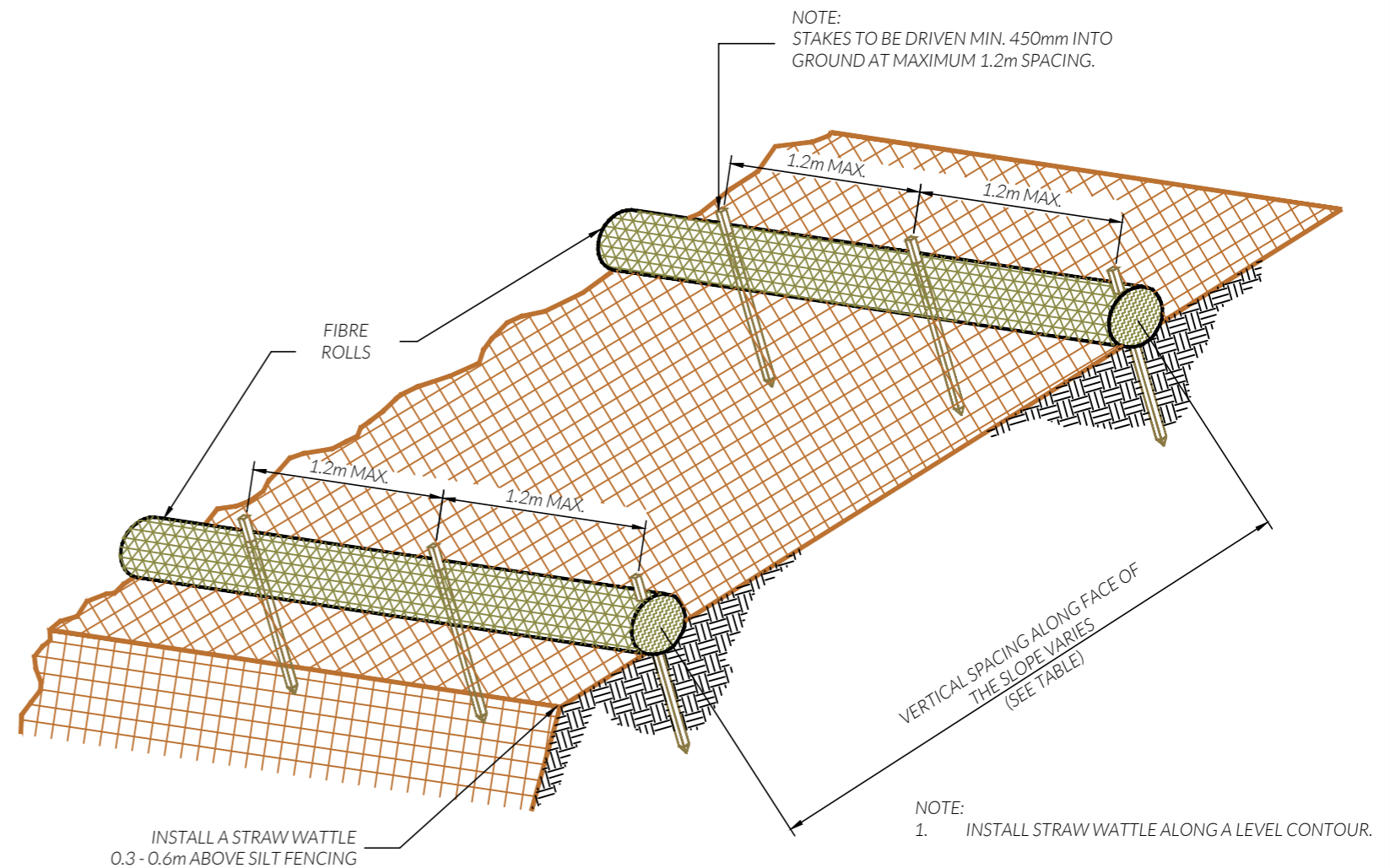
SECTION

SILT FENCE DETAIL

SCALE: N.T.S

NOTE:
SILT FENCING TO BE CHECKED DAILY FOR SEDIMENT ACCUMULATION AND WATER LOADING.

NOMINAL SPACING (m) FOR STRAW WATTLE SLOPE INSTALLATIONS					
		NOMINAL DIAMETER (mm)			
		150mm	225mm	300mm	500mm
SLOPE GRADIENT	<4H:1V	6m	12m	18m	24m
	3H:1V	5m	10m	15m	20m
	2H:1V	3m	6m	9m	12m
	1H:1V	1.5m	3m	4.5m	6m



TYPICAL STRAW WATTLE INSTALLATION

SCALE: N.T.S

*DRAWING TAKEN FROM EROSION CONTROL TECHNOLOGY COUNCIL DATED 03/12/2018

ORIGINAL PAPER SIZE 11"x17"

PROJECT NO:	25-1103
DATE:	MAY 15, 2025
DRAWING NO:	G-6

Coast Geotechnical

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FILL DEPOSIT PLAN
7210 WALLACE DR. SAANICHTON
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VERSION / REVISIONS:	DRAWN:	J.A.A
0.	DESIGN:	A.M
	CHECKED:	B.S
	INDEPENDENT REVIEW:	

REQUIREMENTS FOR ENGINEERED FILL

In the context of this guide, Engineered Fill is defined as granular soils, free of organic materials, and having a maximum 75mm nominal particle size. For fill materials with a maximum particle size greater than 75mm, refer to *Coast Geotechnical: Requirements for Rockfill as Engineered Fill*. [Alternative granular fills may be considered upon submission of a material specification sheet from the supplier.](#)

Table 1: Requirements for Engineered Fill

Compaction Equipment ²	10–20-ton vibratory roller	1000-lb plate tamper, < 10 ton roller	Smaller tampers, jumping jack
Max. Lift Thickness	450 mm (1.5 ft)	300 mm (1 ft)	150 mm (6 in)
Min. # Passes	6 passes	6 passes	6 passes
Density Testing Requirements:	<ol style="list-style-type: none"> 1. During compaction of 1st lift to confirm appropriate placement methodology, moisture, and compaction effort. 2. Every 0.6 meters of thickness thereafter (or as specified by engineer). 		

1. 'Minus' means all particles must be less than the specified size. Material must be clean, free of contaminants or organics, and have less than 8% fines (silt/clay) passing the No. 200 sieve if placed during wet seasons. Generally, fills with more than 10% fines passing the No. 200 sieve are difficult to compact and not appropriate.
2. Commonly used materials are: 19 mm minus base gravel, 75 mm minus crushed granular sub-base, 75 mm minus Pit Run Sand & Gravel.

Stripping: Prior to placement of any Engineered Fill, all topsoil, fill, weathered, or disturbed soils must be stripped from the proposed building area. We recommend the site be staked or pinned to identify the building extent/width. *Geotechnical Engineer to be contacted to review subgrade prior to placing Engineered Fill.*

Pad Extent: The Engineered Fill pad must be prepared to extend 0.6 m (2 ft) horizontally beyond the outside edge of footings and have a maximum splay of 1H:1V down and away. Larger diameter particles can be used to retain perimeter of fill pad.

Lifts: Engineered Fill to be compacted in lifts appropriate for equipment. Lifts to be prepared level prior to compaction. Track packing will not be accepted as a means of compaction. Track packing is not an appropriate means of achieving compaction, however, it may be used as an initial step to level and eliminate high points.

Compaction: Engineered fill to be compacted to 98% of the materials Standard Proctor Maximum Dry Density (SPMDD) and within 2% of optimum moisture content, or as otherwise specified by the Engineer. Density testing is to be completed to confirm compaction, and results to be provided to Engineer for review. We recommend obtaining the Proctor test on the material prior to transport to site. *In lieu of density testing, upon request, Coast Geotechnical can complete full-time review during placement and compaction.*

Reviews: Contractor/Client is responsible to schedule density testing, or full-time monitoring with Coast Geotechnical during compaction. Final signoff, and/or Letters of Assurance will be withheld if Coast Geotechnical is not provided opportunity to review engineered fill, or density test results are not provided.



This collection of personal information is authorized under the Local Government Act, Community Charter and the Freedom of Information and Protection of Privacy Act. The information will be used for processing this application. Questions can be directed to the District's Information and Privacy Officer at municipal.hall@csaanich.ca, phone 250-652-4444.

SCHEDULE A

**DISTRICT OF CENTRAL SAANICH
SOIL REMOVAL OR DEPOSIT PERMIT APPLICATION**

Applicant Information
(filled out by applicant)

Name of applicant Coast Geotechnical Consulting, Jacob Verheyden, P.Eng.
(if company, insert company name and individual representative applying on behalf of company)

Applicant's address 4226 Commerce Cir #101, Victoria, BC V8Z 6N6

Applicant's telephone number 250 - 607 - 1647

Applicant's fax number (if available) _____

Applicant's email address (if available) Jacob@coastgeotechnical.ca

Land Identification Information

Legal description of Soil removal Location _____
LOT A, PLAN EPP48881, SECTION 10, RANGE 2E, SOUTH SAANICH LAND DISTRICT, EXCEPT PLAN EPP141098

Municipal address 7210 Wallace Drive, Saanichton

Legal description of Soil Deposit Location _____
LOT A, PLAN EPP48881, SECTION 10, RANGE 2E, SOUTH SAANICH LAND DISTRICT, EXCEPT PLAN EPP141098

Municipal address 7210 Wallace Drive, Saanichton

Land Ownership of Soil Removal Location

Registered owner 1487771 BC Ltd.

Address of owner 7210 Wallace Drive, Saanichton

Lease holder (if applicable) _____

Address of lease holder (if applicable) _____

Land Ownership of Soil Deposit Location

Registered owner 1487771 BC Ltd.

Address of owner 7210 Wallace Drive, Saanichton

Lease holder (if applicable) _____

Address of lease holder (if applicable) _____

Soil Removal or Deposit Information

Prepared by Professional Engineer: Granular Fill

Estimated quantity of Soil	Type of Material	Quantity	Location
1) to be removed		m ³	
2) to be deposited	Granular Fill	5855 m ³	7210 Wallace Drive, Saanichton

Estimate prepared by: _____
(signature and seal required)

Date 2025-07-07

Professional Engineer's Reports

Attached, as part of this Application, are the following reports:


1)	<u>25-1103 - Geotechnical Report</u>	<u>Jacob Verheyden, P. Eng.</u>	<u>2025-07-07</u>
	(Title)	(Author)	(Date)
2)	_____	_____	_____
3)	_____	_____	_____

I, Jacob Verheyden, as applicant on my own behalf, or as authorized signatory of the applicant Coast Geotechnical (print company name), make this Application.

I confirm that the applicant has the authority to remove or deposit Soil on this land.

Declared the 07 day of 07, 2025.

(Signature of Applicant)



(Authorized Signature of Owner)



RE: Invitation to Attend: District of Central Saanich Farmers Breakfast – March 3

Dear PAAC,

The District of Central Saanich would like to invite you to attend our upcoming Farmers Breakfast, taking place on **Tuesday, March 3, from 9:00 a.m. to 11:00 AM at the Saanich Fairgrounds** (1528 Stellys Cross Rd).

This bi-annual event brings together local farmers and government partners to share information, strengthen relationships, and discuss current issues and opportunities within the agricultural sector.

As part of the program, we are hosting a panel discussion. Each participating government organization will be invited to provide a presentation highlighting current or upcoming work, initiatives, or programs relevant to agriculture in Central Saanich or region. Following the presentations, there will be a moderated Q&A with attendees.

Thank you for your consideration, and we hope you can join us.

Thanks,

Julie Bull

Community Planner

District of Central Saanich

236-653-8178 | CentralSaanich.ca