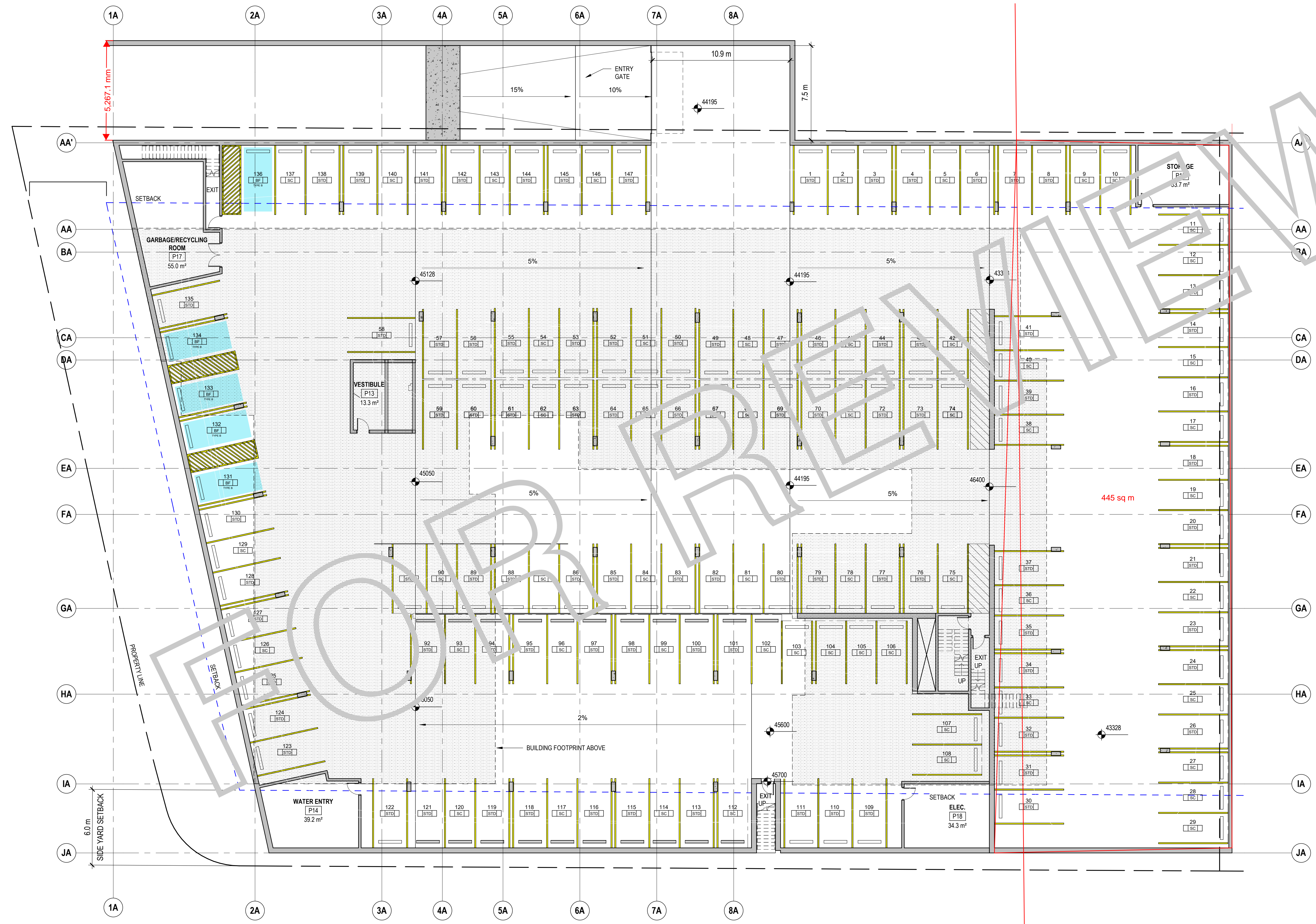


| Parking Schedule Option 2 | |
|---------------------------|------------------------------------|
| Count | Type |
| 50 | 90 deg_5000 x 2400 mm_sm car |
| 4 | 90 deg_5000 x 2400 mm_sm car short |
| 88 | 90 deg_5500 x 2700 mm |
| 5 | 90 deg_5500 x 2700 mm Accessible |
| Grand total: 147 | |

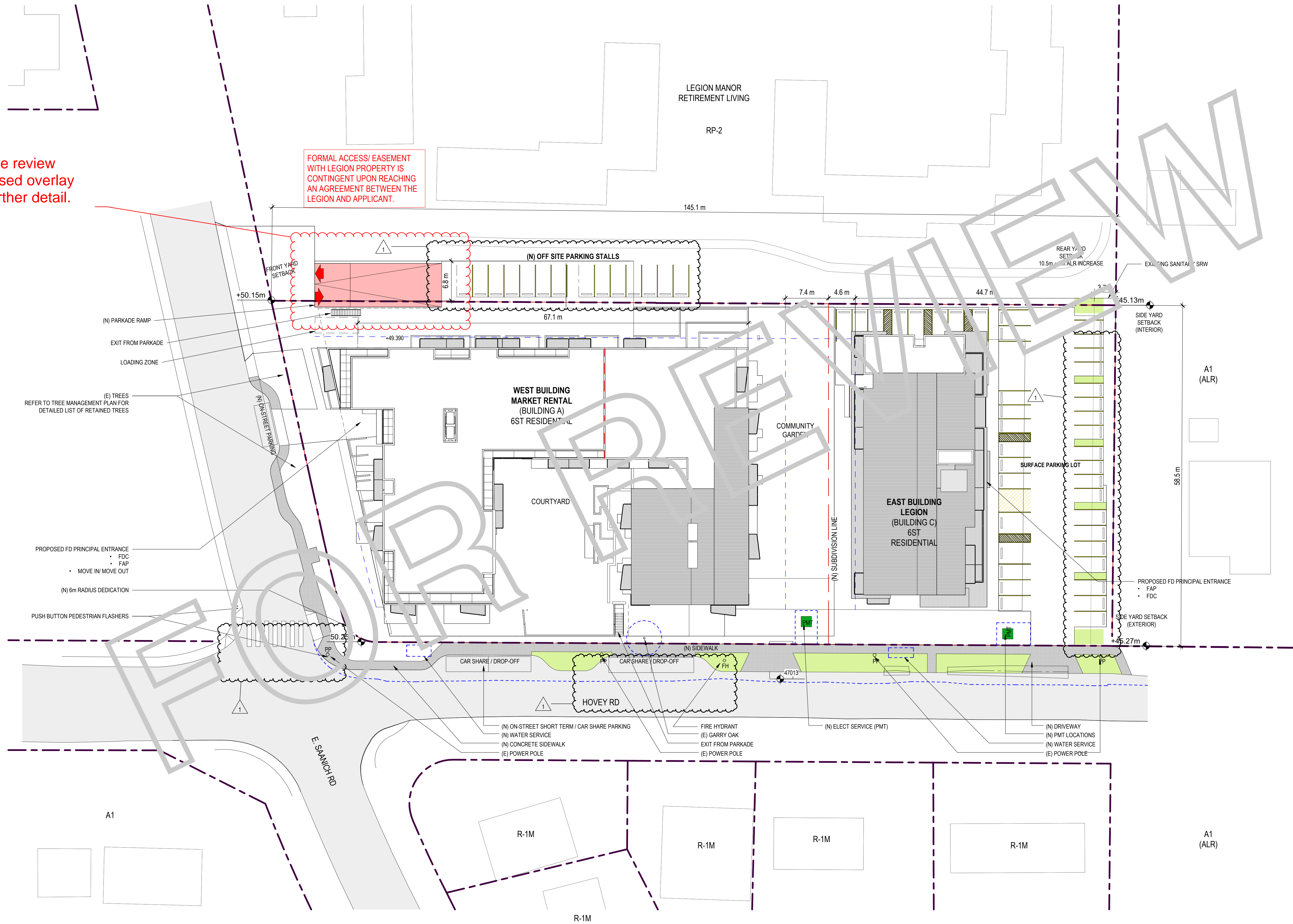
PARKING CALCULATIONS_OPTION 2
E. Saanich Rd. Ramp/ Access/ Egress from Existing Legion Property

| VEHICLE PARKING (On-Site) | Required | Proposed | Variance |
|---|-------------------|-------------------|--------------------|
| WEST (MARKET RENTAL) | | | |
| Regular Stalls (Parkade) | 203 Stalls | 147 Stalls | -56 Stalls |
| | 1.5/Unit | 1.09/Unit | -27% |
| EAST BLDG (LEGION) | | | |
| Regular Stalls (Surface) | 93 Stalls | 31 Stalls | -62 Stalls |
| | 1.5/Unit | 0.50/Unit | -66% |
| Subtotal | 296 Stalls | 178 Stalls | -117 Stalls |
| | | 0.91/Unit | -40% |
| VISITOR PARKING (Located on surface parking lot) | | | |
| East Bldg (Legion) | 16 Stalls | 5 Stalls | -11 Stalls |
| | 25/Unit | 0.08/Unit | -68% |
| West Bldg (Market Rental) | 34 Stalls | 7 Stalls | -27 Stalls |
| | 25/Unit | 0.05/Unit | -80% |
| Subtotal (Visitor) | 49 Stalls | 12 Stalls | -38 Stalls |
| | | 0.06/Unit | -76% |
| Grand Total (On-Site) | 345 Stalls | 190 Stalls | -155 Stalls |
| | | 0.96/Unit | -45% |
| Overflow Stalls (Off-Site) | | 14 Stalls | |
| Grand Total | 345 Stalls | 204 Stalls | -141 Stalls |
| | | 1.04/Unit | -41% |



Please review enclosed overlay for further detail.

FORMAL ACCESS/ EASEMENT WITH LEGION PROPERTY IS CONTINGENT UPON REACHING AN AGREEMENT BETWEEN THE LEGION AND APPLICANT.



DEVELOPMENT DATA

FAR CALCULATIONS

| Level | Residential Area | | | | | | Gross Buildable G (A+B+C+D+E+F) | Balcony Area H | Stairs J | Total Deductions K (J) | Net FSR L (G - K) |
|----------------------------------|--------------------|-----------------|-------------------|-----------------|-----------------|-----------------|------------------------------------|-------------------------|-----------------|---------------------------|-----------------------------------|
| | A | B | C | D | E | F | | | | | |
| EAST BLDG (LEGION) 01 | 124 sq.m | 52 sq.m | 68 sq.m | 93 sq.m | 52 sq.m | 226 sq.m | 615 sq.m | 0 sq.m | 52 sq.m | 52 sq.m | 563 sq.m |
| EAST BLDG (LEGION) 02 | 744 sq.m | 54 sq.m | 87 sq.m | 0 sq.m | 9 sq.m | 34 sq.m | 927 sq.m | 62 sq.m | 54 sq.m | 54 sq.m | 873 sq.m |
| EAST BLDG (LEGION) 03 | 756 sq.m | 42 sq.m | 87 sq.m | 0 sq.m | 9 sq.m | 34 sq.m | 927 sq.m | 62 sq.m | 42 sq.m | 42 sq.m | 885 sq.m |
| EAST BLDG (LEGION) 04 | 755 sq.m | 42 sq.m | 87 sq.m | 0 sq.m | 9 sq.m | 34 sq.m | 926 sq.m | 59 sq.m | 42 sq.m | 42 sq.m | 884 sq.m |
| EAST BLDG (LEGION) 05 | 636 sq.m | 38 sq.m | 87 sq.m | 0 sq.m | 9 sq.m | 34 sq.m | 803 sq.m | 118 sq.m | 38 sq.m | 38 sq.m | 765 sq.m |
| EAST BLDG (LEGION) 06 | 636 sq.m | 38 sq.m | 87 sq.m | 0 sq.m | 9 sq.m | 34 sq.m | 803 sq.m | 90 sq.m | 38 sq.m | 38 sq.m | 765 sq.m |
| Subtotal | 3,650 sq.m | 265 sq.m | 502 sq.m | 93 sq.m | 95 sq.m | 395 sq.m | 5,000 sq.m | 390 sq.m | 265 sq.m | 265 sq.m | 4,735 sq.m |
| | | | | | | | 53,817 sq.ft | | 2,849 sq.ft | | 50,968 sq.ft |
| WEST BLDG (MARKET RENTAL) 00 | 189 sq.m | 27 sq.m | 33 sq.m | 260 sq.m | 0 sq.m | 121 sq.m | 629 sq.m | 0 sq.m | 27 sq.m | 27 sq.m | 602 sq.m |
| WEST BLDG (MARKET RENTAL) 01 | 1,781 sq.m | 40 sq.m | 196 sq.m | 0 sq.m | 13 sq.m | 104 sq.m | 2,134 sq.m | 38 sq.m | 40 sq.m | 40 sq.m | 2,094 sq.m |
| WEST BLDG (MARKET RENTAL) 02 | 1,927 sq.m | 25 sq.m | 206 sq.m | 0 sq.m | 14 sq.m | 0 sq.m | 2,172 sq.m | 180 sq.m | 25 sq.m | 25 sq.m | 2,147 sq.m |
| WEST BLDG (MARKET RENTAL) 03 | 1,938 sq.m | 25 sq.m | 206 sq.m | 0 sq.m | 14 sq.m | 0 sq.m | 2,183 sq.m | 172 sq.m | 25 sq.m | 25 sq.m | 2,158 sq.m |
| WEST BLDG (MARKET RENTAL) 04 | 1,910 sq.m | 25 sq.m | 206 sq.m | 0 sq.m | 14 sq.m | 0 sq.m | 2,155 sq.m | 178 sq.m | 25 sq.m | 25 sq.m | 2,130 sq.m |
| WEST BLDG (MARKET RENTAL) 05 | 941 sq.m | 13 sq.m | 119 sq.m | 0 sq.m | 11 sq.m | 0 sq.m | 1,084 sq.m | 191 sq.m | 13 sq.m | 13 sq.m | 1,072 sq.m |
| Subtotal | 8,686 sq.m | 154 sq.m | 967 sq.m | 260 sq.m | 66 sq.m | 225 sq.m | 10,357 sq.m | 758 sq.m | 154 sq.m | 154 sq.m | 10,203 sq.m |
| | | | | | | | 111,484 sq.ft | | 1,661 sq.ft | | 109,823 sq.ft |
| Grand Total (Above Grade) | 12,336 sq.m | 419 sq.m | 1,469 sq.m | 353 sq.m | 161 sq.m | 619 sq.m | 15,357 sq.m | 1,148 sq.m | 419 sq.m | 419 sq.m | 14,938 sq.m |
| | | | | | | | 165,301 sq.ft | | 4,510 sq.ft | | 160,791 sq.ft |
| | | | | | | | | Total Site Area: | | | 8,094 sq.m |
| | | | | | | | | | | | Total FSR : |
| | | | | | | | | | | | 1.85 |
| | | | | | | | | | | | 1.95 |
| | | | | | | | | | | | 1.65 |
| | | | | | | | | | | | Legion FSR (w/subdivision) |
| | | | | | | | | | | | 1.65 |
| LEVEL P1 LOWER | | 16 sq.m | 3,997 sq.m | 0 sq.m | 219 sq.m | 0 sq.m | 4,231.02 | | | | |
| Grand Total | 12,336 sq.m | 435 sq.m | 5,465 sq.m | 353 sq.m | 380 sq.m | 619 sq.m | 19,588 sq.m | | | | 210,844 sq.ft |

UNIT MIX

WEST BLDG (MARKET RENTAL) - Unit Mix

| Level | Studio | 1BDRM | 1BDRM + DEN | 2BDRM | 2BDRM+DEN | 3BDRM | TOTAL |
|--------------|-----------|-----------|-------------|-----------|-----------|-----------|------------|
| Level 0 | 0 | 0 | 0 | 1 | 0 | 1 | 2 |
| Level 1 | 8 | 11 | 2 | 4 | 0 | 4 | 29 |
| Level 2 | 7 | 12 | 1 | 5 | 0 | 5 | 30 |
| Level 3 | 7 | 12 | 1 | 5 | 0 | 5 | 30 |
| Level 4 | 6 | 12 | 0 | 6 | 0 | 5 | 29 |
| Level 5 | 6 | 3 | 0 | 2 | 1 | 3 | 15 |
| Total | 34 | 50 | 4 | 23 | 1 | 23 | 135 |
| | 25% | 37% | 40% | 3% | 17% | 18% | 17% |
| | Studio | 1BDRM | 2BDRM | 3BDRM | | | |

EAST BLDG (LEGION) - Unit Mix

| BLDG C LVL | Studio | 1BDRM | 1BDRM+DEN | 2BDRM | 2BDRM+DEN | 3BDRM | TOTAL |
|--------------|-----------|-----------|-----------|----------|-----------|----------|-----------|
| BLDG C LVL 1 | 0 | 2 | 0 | 0 | 0 | 0 | 2 |
| BLDG C LVL 2 | 1 | 11 | 0 | 0 | 0 | 0 | 12 |
| BLDG C LVL 3 | 0 | 12 | 0 | 0 | 0 | 0 | 12 |
| BLDG C LVL 4 | 0 | 12 | 0 | 0 | 0 | 0 | 12 |
| BLDG C LVL 5 | 5 | 7 | 0 | 0 | 0 | 0 | 12 |
| BLDG C LVL 6 | 5 | 7 | 0 | 0 | 0 | 0 | 12 |
| Total | 11 | 51 | 0 | 0 | 0 | 0 | 62 |
| | 18% | 82% | 0% | 0% | 0% | 0% | |
| | Studio | 1BDRM | 2BDRM | 3BDRM | | | |

GRAND TOTAL

| Studio | 1BDRM | 2BDRM | 3BDRM | TOTAL | | |
|--------|-------|-------|-------|-------|-----|-----|
| 45 | 101 | 4 | 23 | 1 | 23 | 197 |
| 23% | 51% | 2% | 12% | 1% | 12% | |
| Studio | 1BDRM | 2BDRM | 3BDRM | | | |

PARKING CALCULATIONS

VEHICLE PARKING (On-Site)

| Location | Required | Proposed | Variance |
|---|-------------------|-------------------|--------------------|
| WEST (MARKET RENTAL) | | | |
| Regular Stalls (Parkade) | 203 Stalls | 134 Stalls | -69 Stalls |
| | 1.5/Unit | 0.99/Unit | -34% |
| EAST BLDG (LEGION) | | | |
| Regular Stalls (Surface) | 93 Stalls | 31 Stalls | -62 Stalls |
| | 1.5/Unit | 0.50/Unit | -66% |
| Subtotal | 296 Stalls | 165 Stalls | -130 Stalls |
| | | 0.84/Unit | -44% |
| VISITOR PARKING (Located on surface parking lot) | | | |
| East Bldg (Legion) | 16 Stalls | 5 Stalls | -11 Stalls |
| | .25/Unit | 0.08/Unit | -68% |
| West Bldg (Market Rental) | 34 Stalls | 7 Stalls | -27 Stalls |
| | .25/Unit | 0.05/Unit | -80% |
| Subtotal (Visitor) | 49 Stalls | 12 Stalls | -38 Stalls |
| | | 0.06/Unit | -76% |
| Grand Total (On-Site) | 345 Stalls | 177 Stalls | -168 Stalls |
| | | 0.90/Unit | -49% |
| Overflow Stalls (Off-Site) | | 14 Stalls | |
| Grand Total | 345 Stalls | 191 Stalls | -154 Stalls |
| | | 0.97/Unit | -45% |

BIKE PARKING

| Location | Required | Proposed |
|--------------------|----------|----------|
| WEST BLDG | | |
| Long Term | 203 | 209 |
| Short Term | 20 | 20 |
| EAST BLDG (LEGION) | | |
| Long Term | 93 | 48 |
| Short Term | 5 | 22 |
| Mobile Scooter | 0 | 12 |

DEVELOPMENT PERMIT ZONING SUMMARY

| Building Use | REQUIRED / MAXIMUM | PROPOSED | VARIANCE |
|--|--------------------|-------------------|----------|
| | | | |
| Setbacks - Front | | | |
| Rear | 10.5m | 10.5m | 0 |
| Side | 6.0m | 6.0m | 0 |
| Total Sides | 6.0m | 6.0m | 0 |
| Exterior Side | 6.0m | 6.0m | 0 |
| Building Height | | | |
| West Building (Market Rental) | 15m | 17.6m | 2.6 |
| East Building (Legion) | 15m | 20.5m | 5.5 |
| Accessory Structure Height | 4.5m | n/a | n/a |
| Lot Area | n/a | 8094 sq.m | |
| Lot Frontage | n/a | | |
| Lot Coverage | 45% | 37% | -8% |
| Floor Area Ratio | 1.6 | 1.82 | 0.22 |
| PARKING SUMMARY (Combined both in parkade, and surface parking) | | | |
| Parking surface | | | |
| Standard (2.7m x 5.5m) | 241 Stalls | 164 Stalls | -77 |
| Small Car (2.4m x 5.0m) | 103 Stalls | 90 Stalls | -13 |
| Space for Disabled (3.7m x 5.5m) | 11 Stalls | 10 Stalls | -1 |
| Overflow Parking at Legion Property | | 14 Stalls | |
| Parking Total | | 278 Stalls | |
| Increase width wall/fence (0.3m) | 0.3 | 0.3 | 0 |
| Loading (3m x 9m) | 0 | 1 | 1 |
| Manoeuvring aisle | 7.5m | 7.5m | 0 |
| Parking Setbacks | n/a | | |
| Bicycle Parking (Both Buildings) | | | |
| Bicycle Racks Short Term (1 / 10 stalls) | 25 | 42 | 17 |
| Bicycle Storage Long Term (2m long x 1.5m high x 1m wide) | 296 | 257 | -39 |

Note: The Legion has provisions for 20 mobility scooter parking in lieu of bike parking

Screening - Zone separation
Screening - Waste disposal
Screening - Storage Yard
Screening - Parking areas
Other (eg. Fencing)

PROJECT INFORMATION

| LEGAL DESCRIPTION | MUNICIPAL ADDRESS |
|--|--|
| LOTS 1, 2 + 3, PLAN 16991, SECTION 7, RANGE 2 EAST, SOUTH SAANICH DISTRICT | 7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD |
| BUILDING CODE SUMMARY | |
| PROJECT DESCRIPTION: THE PROPOSED PROJECT IS REZONING OF 5 ASSEMBLED RM-1 LOTS INTO A COMBINED LOT REZONED TO RM-5. THE PROJECT PROPOSES A MULTIFAMILY, PURPOSE BUILT RENTAL PROJECT CONSISTING OF (2) 6-STORY, 1000 FRAMER BUILDINGS. THE WEST BUILDING CONTAINS 133 RENTAL UNITS OVER AN UNDERGROUND PARKADE AND THE EAST BUILDING CONTAINS 62 SENIOR RENTED RENTAL UNITS WITH SURFACE PARKING | |
| GOVERNMENT CODE: 2023 BC BUILDING CODE | |
| AUTHORITY AND JURISDICTION: CENTRAL SAANICH | |
| DEVELOPMENT PERMIT PROJECT NUMBER: <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> NEW: <DP NUMBER> | |
| MAJOR OCCUPANCY (S): GROUP C - APARTMENTS | |
| MINOR OCCUPANCY (S): GROUP F3 - STORAGE GARAGE | |
| GROSS AREA (m ²) | WEST BUILDING: 11,174 m ² EAST BUILDING: 4,985 m ² |
| NUMBER OF STORES: | ABOVE GRADE: 6 STORIES BELOW GRADE: 1 STOREY |

Please review enclosed overlay for further detail.

PLAN NOTES

1. REFER TO CIVIL FOR MORE INFORMATION REGARDING SITE SERVICING
2. REFER TO LANDSCAPE FOR TREE RETENTION, AND TREE MANAGEMENT PLAN
3. REFER TO LANDSCAPE FOR PRELIMINARY GRADING INFORMATION

14 OFF SITE STALLS FOR LEGION OVER FLOW PARKING

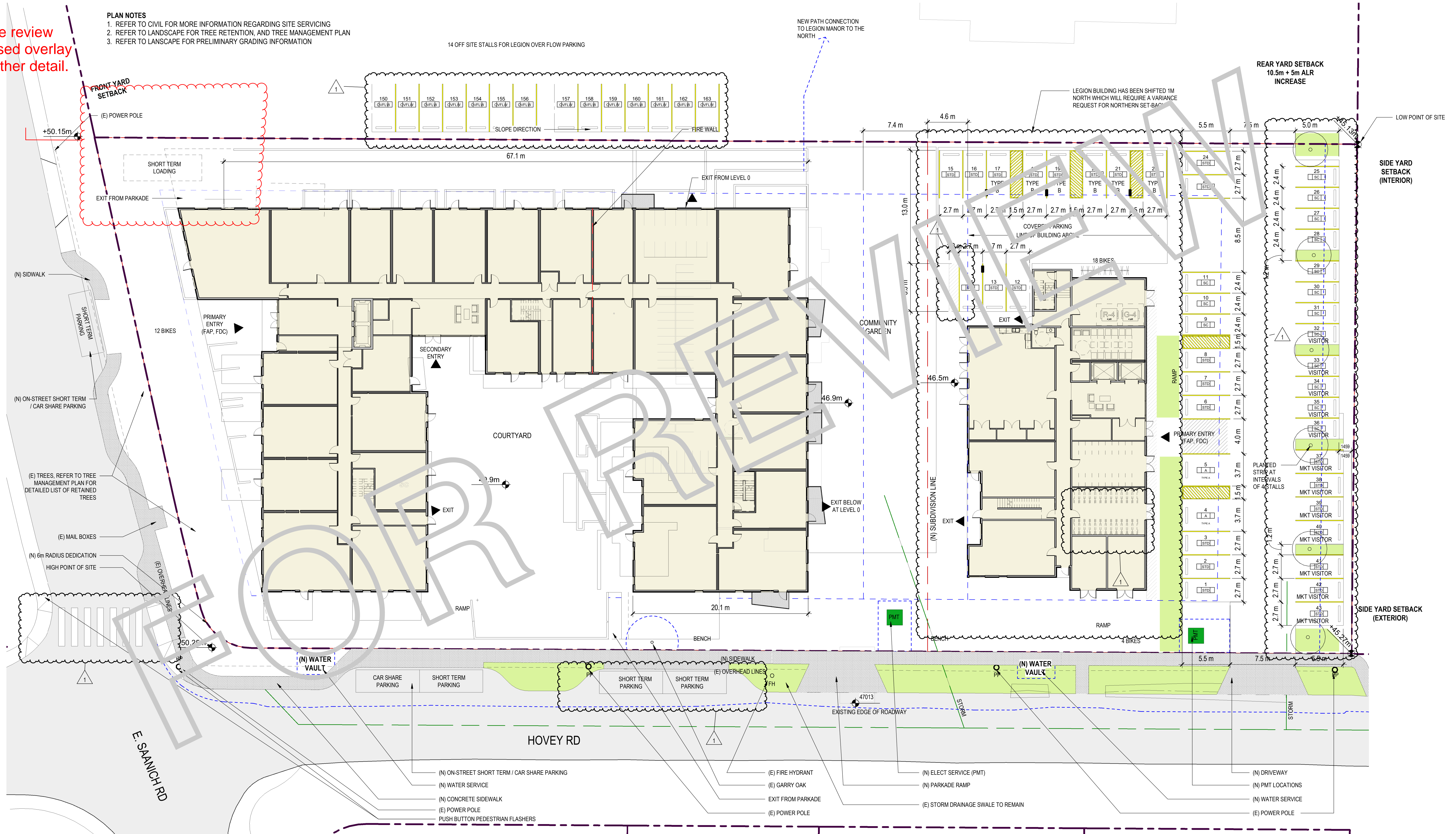
NEW PATH CONNECTION TO LEGION MANOR TO THE NORTH

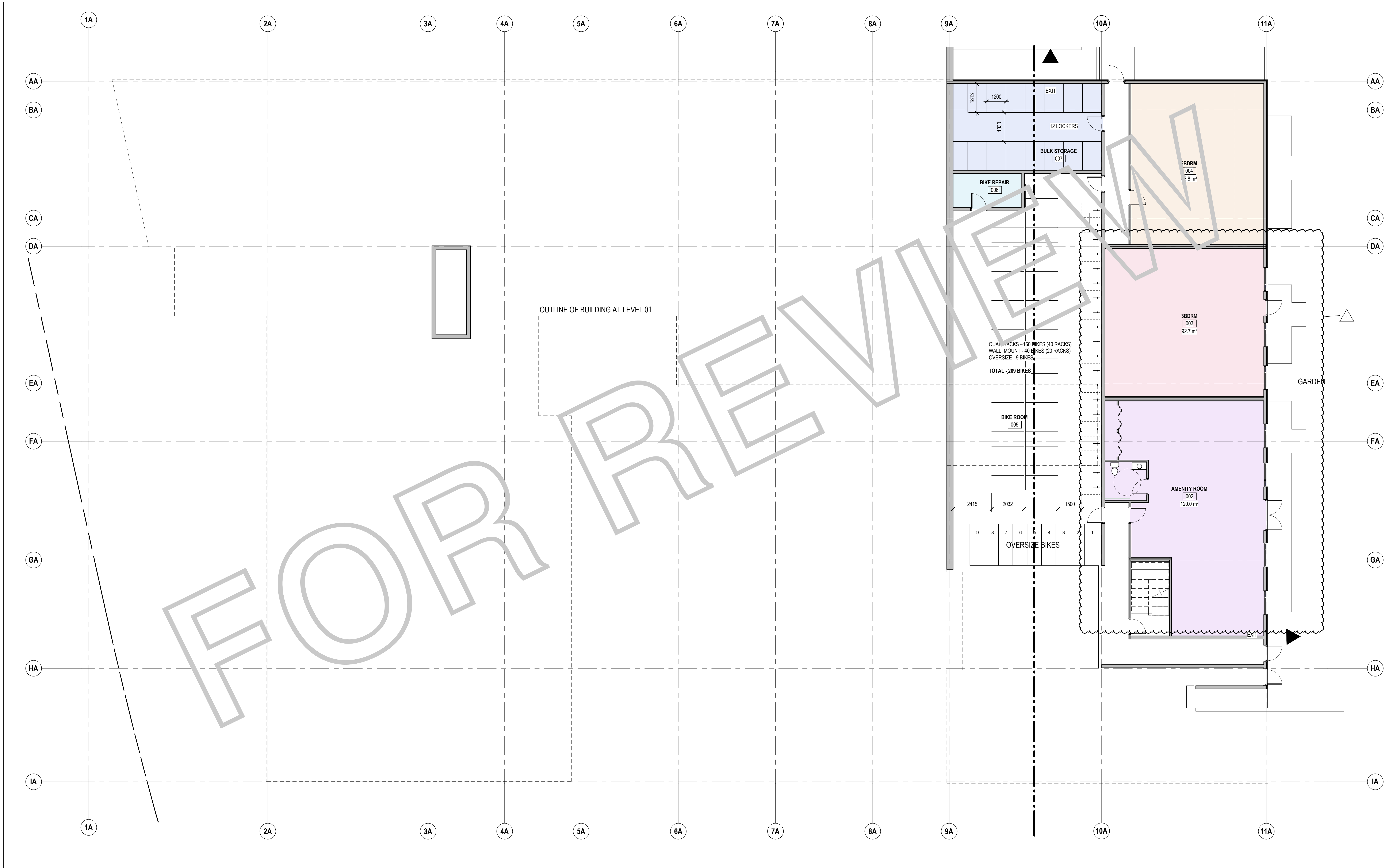
LEGION BUILDING HAS BEEN SHIFTED 1M NORTH WHICH WILL REQUIRE A VARIANCE REQUEST FOR NORTHERN SET-BACK

REAR YARD SETBACK 10.5m + 5m ALR INCREASE

SIDE YARD SETBACK (INTERIOR)

SIDE YARD SETBACK (EXTERIOR)

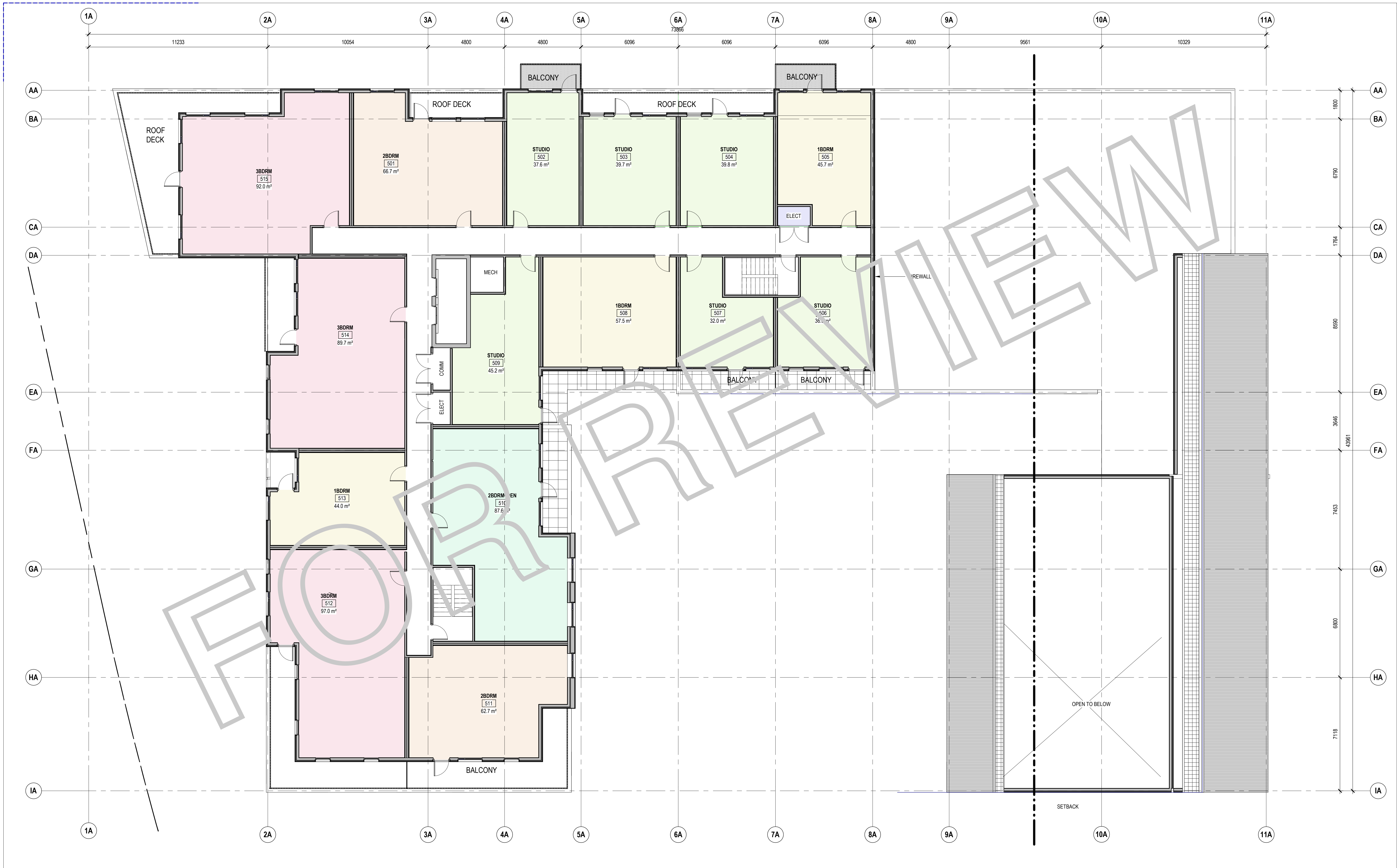


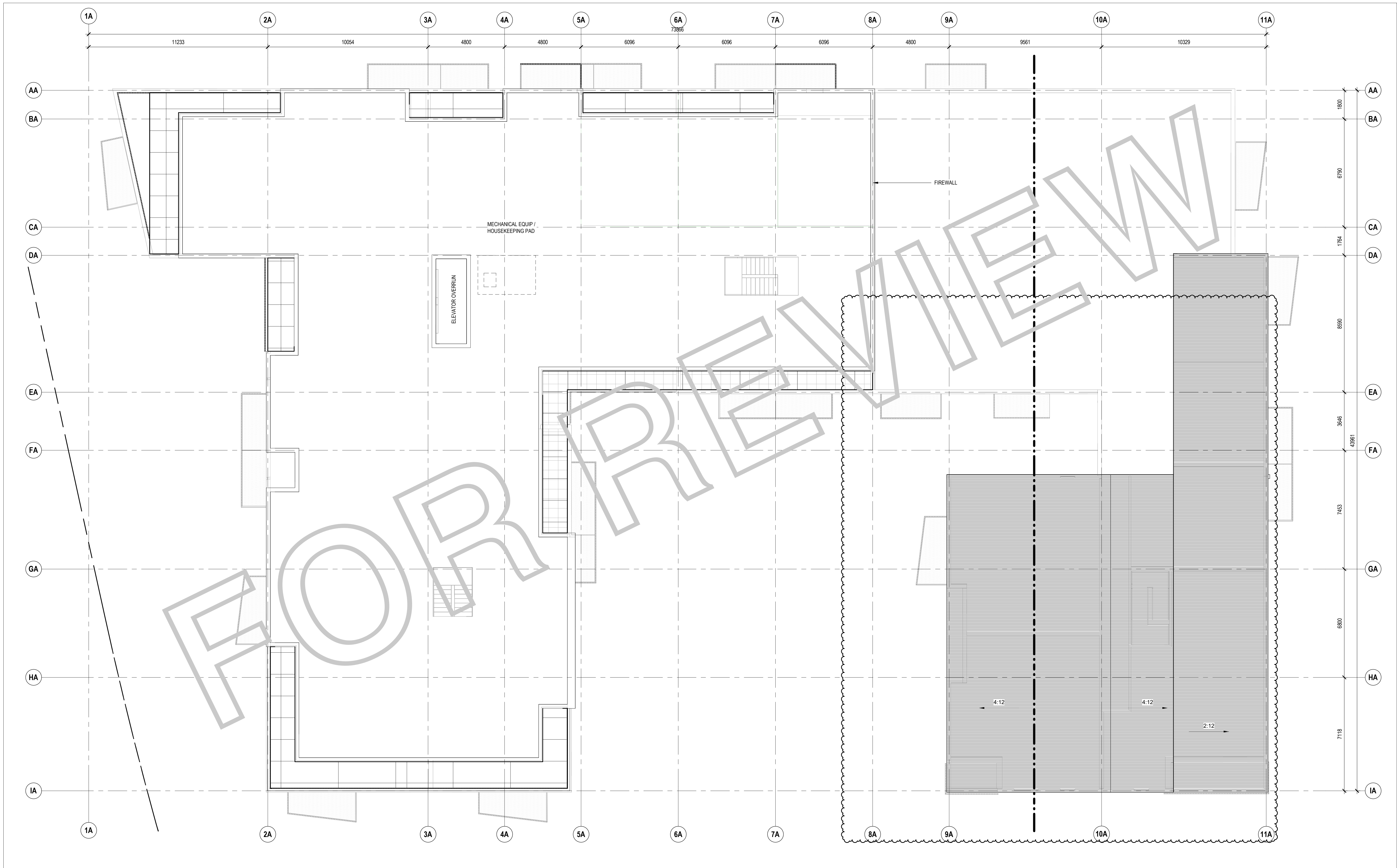








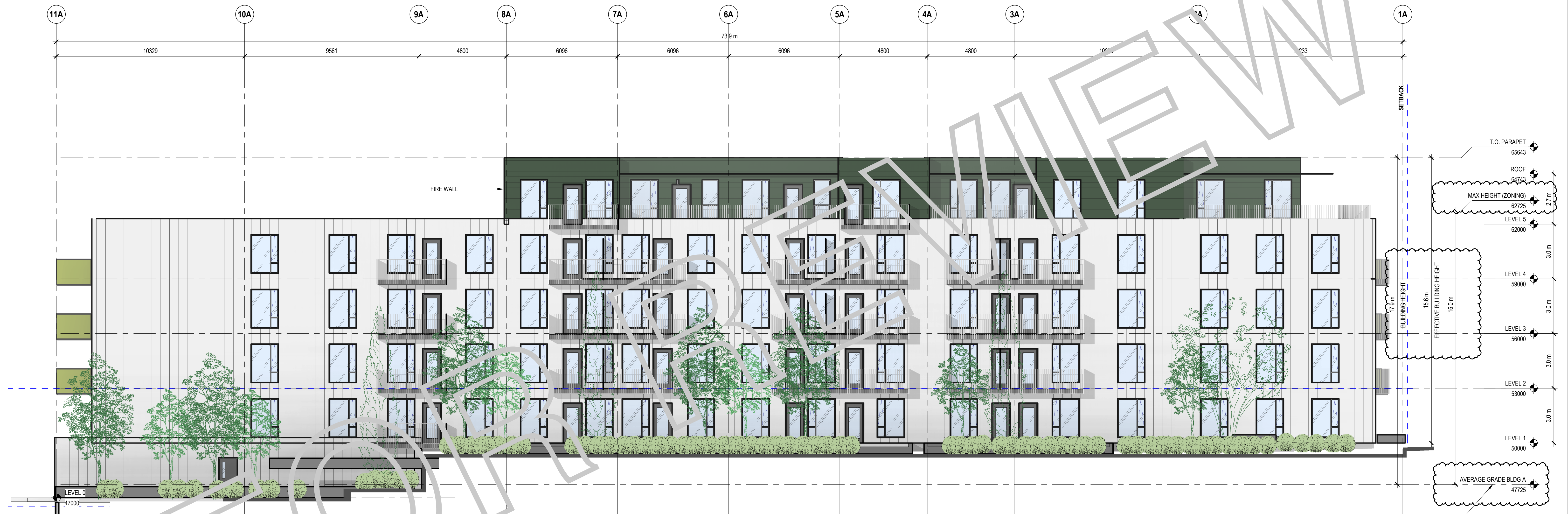






MATERIAL LEGEND

| | | | |
|---|--|----|--|
| 1 | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY | 8 | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| 2 | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS | 9 | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| 3 | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS | 10 | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| 4 | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS | 11 | BALCONY - VERTICAL STEEL PICKETS, PTD., ALUMINUM PANEL AT END, PTD. |
| 5 | FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS | 12 | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| 6 | ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES | 13 | FIRE RATED METAL DOOR GREY |
| 7 | CMU - EXPOSED, BASE OF BUILDING | | |



| MATERIAL LEGEND | |
|-----------------|--|
| 1 | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY |
| 2 | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 3 | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 4 | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 5 | FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 6 | ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES |
| 7 | CMU - EXPOSED, BASE OF BUILDING |
| 8 | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| 9 | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| 10 | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| 11 | BALCONY - VERTICAL STEEL PICKETS, PTD., ALUMINUM PANEL AT END, PTD. |
| 12 | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| 13 | FIRE RATED METAL DOOR GREY |



| MATERIAL LEGEND | |
|-----------------|--|
| 1 | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY |
| 2 | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 3 | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 4 | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 5 | FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 6 | ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES |
| 7 | CMU - EXPOSED, BASE OF BUILDING |
| 8 | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| 9 | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| 10 | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| 11 | BALCONY - VERTICAL STEEL PICKETS, PTD., ALUMINUM PANEL AT END, PTD. |
| 12 | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| 13 | FIRE RATED METAL DOOR GREY |



| MATERIAL LEGEND | |
|-----------------|--|
| 1 | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY |
| 2 | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 3 | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 4 | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
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| 8 | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| 9 | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| 10 | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| 11 | BALCONY - VERTICAL STEEL PICKETS, PTD., ALUMINUM PANEL AT END, PTD. |
| 12 | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| 13 | FIRE RATED METAL DOOR GREY |