



2 3D View 1



3 3D View 2



4 3D View 3



6 3D View 4



subject property

**McNEIL
BUILDING
DESIGNS
LIMITED**

RON McNEIL, ASTTBC, BC, AS&T
1304 Lovers Lane,
Cobble Hill, BC V0R 1L6
Phone/Fax: 250.360.7307
info@mcneildesigns.bc.ca

Proposed 7 Townhouses for :

BROTHERS HOME BUILDING
at: 1131 Verdier Ave, Central Saanich, BC

Site Plan Of:
Lot A, Section 10, Range 1 West,
South Saanich District, Plan 10980,
P.I.D. 005-182-271



Scale = 1:250

Dated this 9th day of December, 2022.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 77H6192.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
#4 2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 220115/SIT/NO

PROJECT DATA:

ZONING: , CENTRAL SAANICH

SITE AREA: 15196 sf / 1412 sm

SITE COVERAGE:

Block 1 3310 sf
Block 2 2490 sf
TOTAL: 5800 sf / 15196 sf = 38.2%

FLOOR AREAS:

Block 1

unit	Main	Gar	Sec	Total
unit 1	544 sf (50.5 sm)	240 sf (22.3 sm)	751 sf (69.8 sm)	= total 1535 sf
unit 2	560 sf (52 sm)	240 sf (22.3 sm)	749 sf (69.6 sm)	= total 1549 sf
unit 3	560 sf (52 sm)	240 sf (22.3 sm)	749 sf (69.6 sm)	= total 1549 sf
unit 4	560 sf (52 sm)	240 sf (22.3 sm)	749 sf (69.6 sm)	= total 1549 sf
TOTAL BLOCK 1:				6196 sf (575.6sm)

Block 2

unit	Main	Gar	Sec	Total
unit 1	559 sf (51.9 sm)	240 sf (22.3 sm)	748 sf (69.5 sm)	= total 1547 sf
unit 2	559 sf (51.9 sm)	240 sf (22.3 sm)	748 sf (69.5 sm)	= total 1547 sf
unit 3	559 sf (51.9 sm)	240 sf (22.3 sm)	748 sf (69.5 sm)	= total 1547 sf
TOTAL BLOCK 2:				4641 sf (431.2 sm)

BLOCK 1:
Average Grade: 60.50m

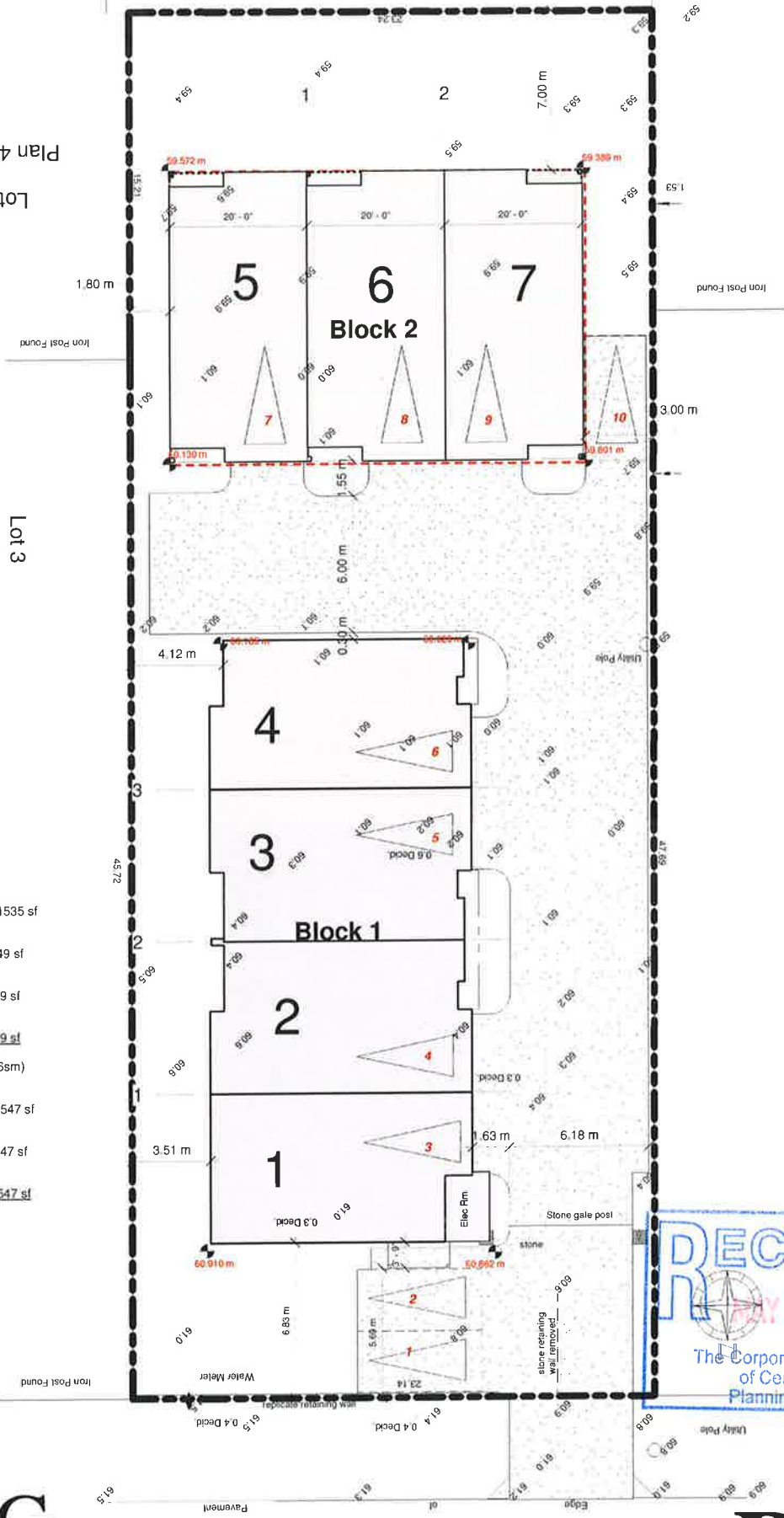
BUILDING HEIGHT: max permitted 9.0 m (29.5')
FROM AV'G EXIST GRADE 6.54 m (21.5')

BLOCK 2:
Average Grade: 59.72m

BUILDING HEIGHT: max permitted 9.0 m (29.5')
FROM AV'G EXIST GRADE 7.06 m (23.1')

Plan 46275
Lot 2

Plan 46275
Lot 3



1 Site Plan
1 : 125

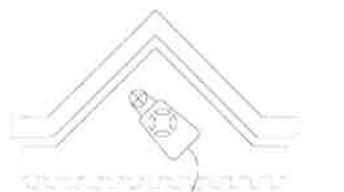
Verdier Avenue

P1





1 Verdier Avenue Streetscape
1/8" = 1'-0"



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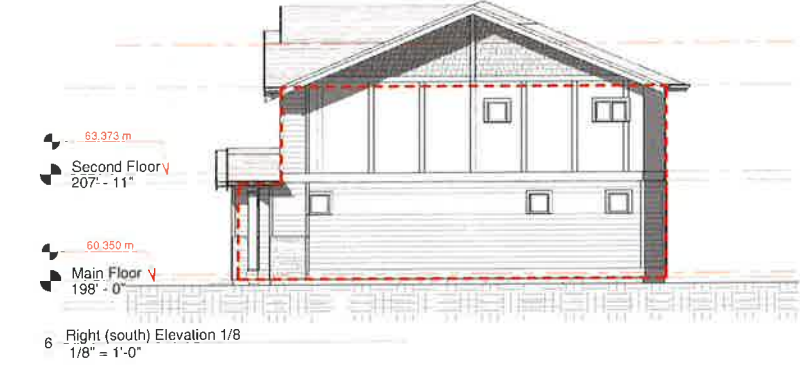
P2

WALLS	• Exterior: Hardiplank
WALLS	• Interior: 1/2" Gypsum Board
ROOF	• 1/2" Gypsum Board
FLOORING	• 3/4" Plywood
CEILING	• 1/2" Gypsum Board
PAINT	• Interior: Latex Emulsion
GLASS	• 1/2" Clear Glass
DOORS	• 1 3/4" Solid Core
WINDOWS	• 1 3/4" Double Hung
STAIRS	• 1/2" Gypsum Board
BASEMENTS	• 1/2" Gypsum Board
ROOFING	• 1/2" Gypsum Board
MECHANICAL	• 1/2" Gypsum Board
ELECTRICAL	• 1/2" Gypsum Board
PLUMBING	• 1/2" Gypsum Board
FINISHES	• 1/2" Gypsum Board
DETAILS	• 1/2" Gypsum Board
NOTES	• 1/2" Gypsum Board

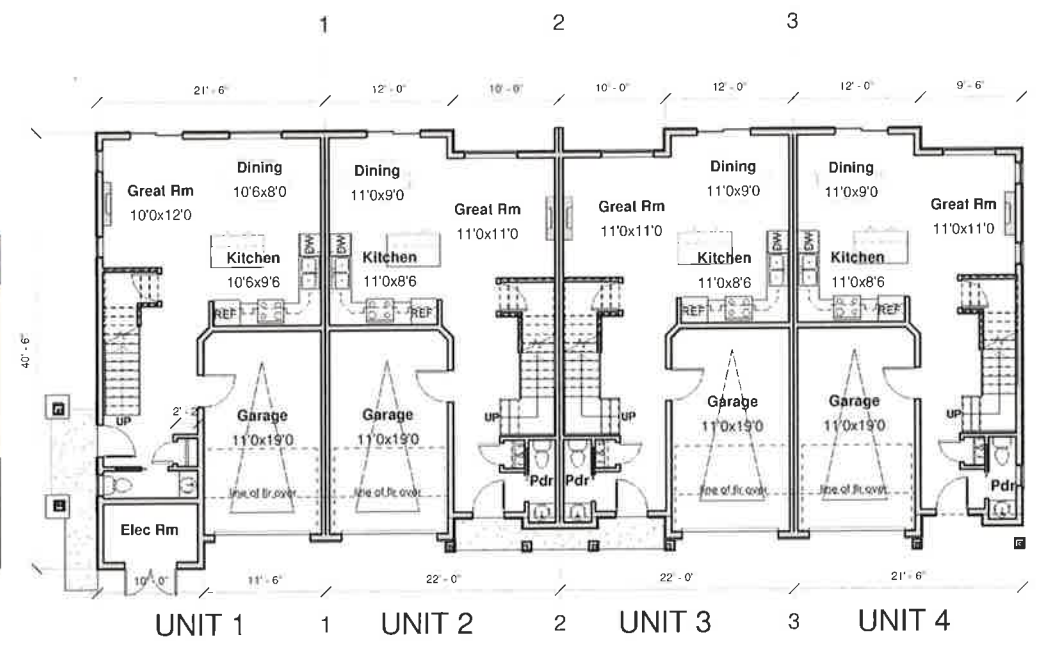
Colour Legend



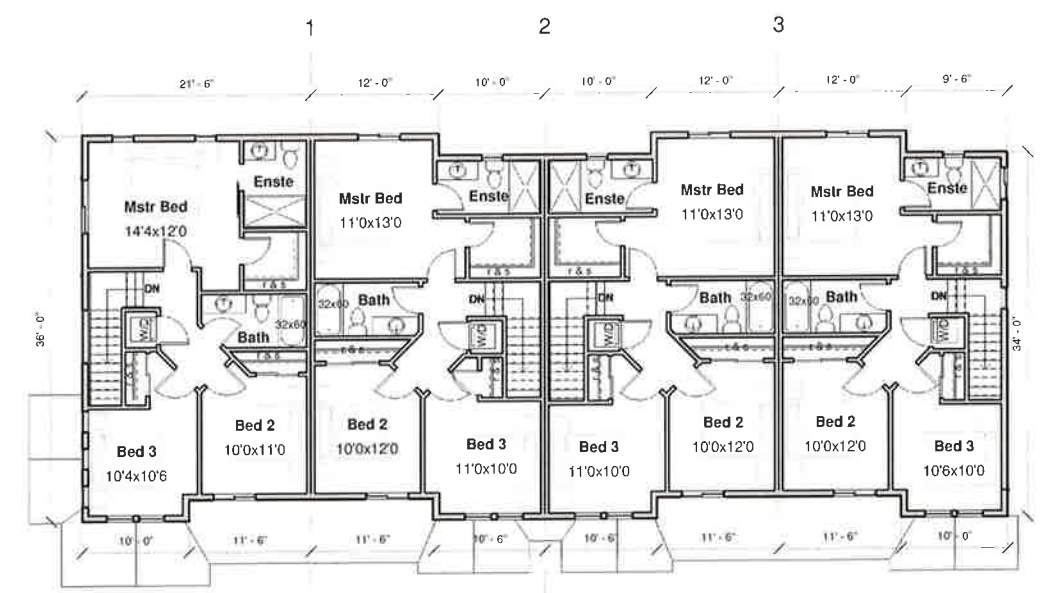
Colour Board



UNPROTECTED OPENINGS: WALL AREA: 398 sf (37 sm) SETBACK: 3.00 m PERMITTED OPENINGS: 21.5%	UNPROTECTED OPENINGS: WALL AREA: 407 sf (37.8 sm) SETBACK: 3.00 m PERMITTED OPENINGS: 21.5%	UNPROTECTED OPENINGS: WALL AREA: 407 sf (37.8 sm) SETBACK: 3.00 m PERMITTED OPENINGS: 21.5%	UNPROTECTED OPENINGS: WALL AREA: 398 sf (37 sm) SETBACK: 3.00 m PERMITTED OPENINGS: 21.5%
PROPOSED OPENINGS: 16 + 8 + 31 + 30 = 85 sf = 21.4%	PROPOSED OPENINGS: 16 + 8 + 31 + 30 = 85 sf = 21.1%	PROPOSED OPENINGS: 16 + 8 + 31 + 30 = 85 sf = 21.1%	PROPOSED OPENINGS: 6 + 6 + 31 + 30 = 73 sf = 18.3%



UNIT 1 544 sf + 240 sf gar	UNIT 2 560 sf + 240 sf gar	UNIT 3 560 sf + 240 sf gar	UNIT 4 560 sf + 240 sf gar
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UNIT 1 751 sf	UNIT 2 749 sf	UNIT 3 749 sf	UNIT 4 749 sf
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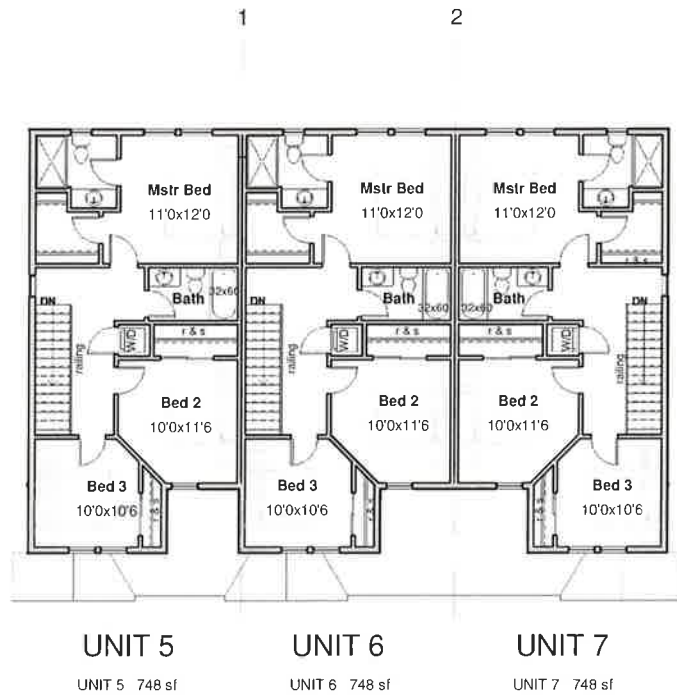
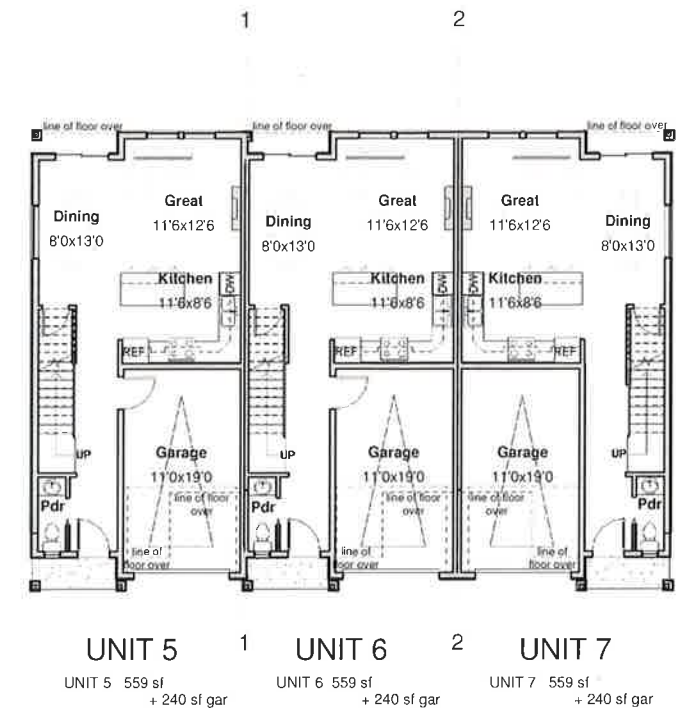
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Proposed Block 1 for:
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at: 1131 Verdier Ave, Central Saanich, BC

P3

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Specifications

PROJECT - Proposed Townhomes
LOCATION 1131 Verdier Avenue
Main Body Paint Colour
• (A) Hazy Lead - Cloverlea (CA 142)
• (B) Papyrus Pewter - Sherrin Wilkins (BW 2548)

Trim / Accent Colour
• Standard White - Doverdale (CA 028)

Stain Colour
• Espresso - Cedar Natural Colour

Stone Work
• Ocean Mist / Natural Island Ledgestone - IC Stone

Backsplash / Countertop
• Black (Gentec 025)

Staircase
• Crispin Gray (Gentec D45)

Roof
• Onyx Black (Green Corning Blupress)

Colour Legend



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Proposed Block 2 for:
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P4

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LEGEND

HARDSCAPE FINISHES:

- CUP Concrete Unit Pavers, Offset Runner Bond pattern, Charcoal colour
- PP2 Exposed Aggregate Concrete
- PP3 Crushed aggregate

SOFTSCAPE:

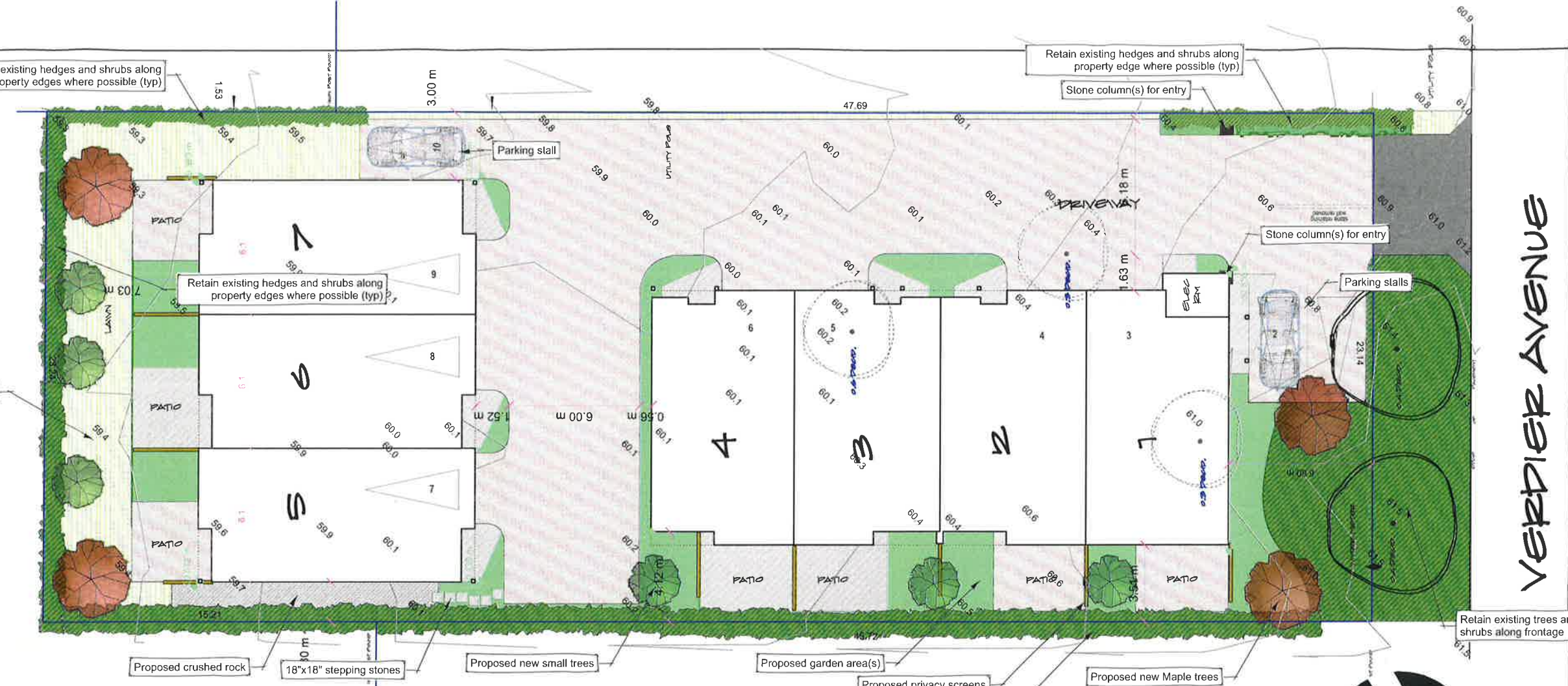
- Lawn
- Planting area
- Existing landscaped area to remain

MISCELLANEOUS:

- Wooden privacy screening approx. 1500-2100mm height
- Large rock boulders approx 4' x 5' dia
- Concrete or mortared rock retaining/upsland walls; Heights vary.

NOTES:

- All building layout information and setback dimensions supplied by McNeil Building Designs Ltd.
- All survey information supplied by Wey Mayenburg Land Surveying Inc.
- This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
- All errors and omissions must be reported immediately to the Designer.
- This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer. In which case the reproduction must bear the designers name.



RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS	NOTES
TREES			
Acer rubrum Crimson Sentry	Crimson Sentry Maple	3cm, cal. #B&B	Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level 1 Well Groomed Areas". Underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. Fencing to be built as shown on plan; portions of privacy screening to be built with trellis top where shown. All existing trees located on plan are approximate. Size and drip-line of trees are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborists to install tree protection fencing for boulevard tree where necessary. Boulevard landscape to remain unchanged from existing. Bicycle parking inside each garage.
Acer circinatum	Vine Maple	1.5M Ht	
Fagus sylv. Dawyckii Gold	Columnar Gold Beech	3.5M Ht	
Styrax japonica	Japanese Snowbell	3cm, cal. #B&B	
SHRUBS & PERENNIALS			
Achenilla mollis robasia	Lady's Mantle	#1 Pot	
Buxus Microphylla Winter Gem	Litorea! Boxwood	#5 Pot	
Calamagrostis x acutiflora	Kari Foerster Grass	#1 Pot	
Eunymus Alatus Compacta	Dwarf Burning Bush	#5 Pot	
Euphorbia characias Wulfenii	Wolf's Euphorbia	#5 Pot	
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M, Ht.	
Hakonechoa macro aureola	Hokone Grass	#1 Pot	
Heliborus argutifolius	Corsican Hellebore	#1 Pot	
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot	
Lavandula Munstead	English Lavender	#1 Pot	
Liriope Muscari	Big Blue Lily Turf	#1 Pot	
Maltonia aquil'otum *	Oregon Grape	#5 Pot	
Ophiopogon planiscapus nigra	Black Mondo Grass	#1 Pot	
Polystichum munikum*	Western Sword Fern	#3 Pot	
Ribes Sang. King Edward*	Ornamental Currant	#5 Pot	
Rosemary Officinalis	Rosemary	#3 Pot	
Rudbeckia Fulgida	Orange Coneflower	#1 Pot	
Spiraea japonica Goldflame	Goldflame Spirea	#3 Pot	
VINES & GROUNDCOVER			
Arclosiaphytos uva ursi *	Kinnikinnick	SP3	
Gaultheria procumbens*	Wintergreen	SP3	
Thymus pseudolanuginosus	Woolly Thyme	SP3	



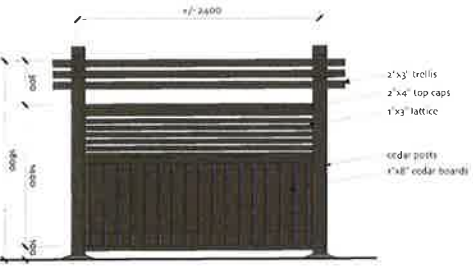
STREETSCAPE:
Front yard landscape to remain as shown on plan above



SIDE PLANTINGS:
Side and rear-yard landscape to remain as much as possible



SIDE PLANTINGS:
Side and rear-yard landscape to remain as much as possible



PRIVACY SCREENING



VERDIER AVENUE

SKL.01
19.MARCH.2023
1:100
LATEST REVISION: 04.MAY.23

1131 VERDIER AVENUE LANDSCAPE LAYOUT

LANDSCAPE SOLUTIONS by STUDIO ONE CREATIVE
250.881.0706 - 4539 Viewmont Avenue, Victoria, BC
CALID SERVICES LTD
250.388.6919 - 2750 Quadra St, Victoria, BC

RESIDENTIAL DEVELOPMENT :: 1131 VERDIER AVENUE :: SKL.01 :: landscape layout ::