

REZONING / DEVELOPMENT PERMIT (REV 5)



AERIAL VIEW OF PROPOSED PROJECT FROM SOUTHWEST

1934 HOVEY ROAD

CIVIC ADDRESS :
7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD.
SAANICH, BC. V8M 1V8

LEGAL ADDRESS :
LOTS 1, 2 + 3, PLAN 16991, SECTION 7, RANGE 2 EAST, SOUTH
SAANICH DISTRICT

REZONING AND DEVELOPMENT PERMIT SUBMISSION

- INITIAL SUBMISSION: OCT 27, 2023
- REVISION 02: APRIL 25, 2024
- REVISION 03: OCT 11, 2024
- REVISION 04: NOV 12, 2024

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| | | | | | | | | | |
|---|--|---|--|--|---|--|---|---|--|
| CLIENT ARYZE DEVELOPMENTS CONTACT : CHRIS QUIGLEY 1839 FAIRFIELD ROAD VICTORIA, BC V8S 1G9 | ARCHITECT AND PRIME CONSULTANT DIALOG CONTACT : VANCE HARRIS 406 - 611 ALEXANDER STREET VANCOUVER, BC V6A 1E1 | LANDSCAPE ARCHITECT DIALOG CONTACT : JAMES GODWIN 406 - 611 ALEXANDER STREET VANCOUVER, BC V6A 1E1 | STRUCTURAL ENGINEER RJC CONTACT : LEON PLETT 220 - 645 TYEE ROAD VICTORIA, BC V9A 6X5 | ELECTRICAL ENGINEER E2 ENGINEERING INC. CONTACT : PATRICK LOURDU 530 HERALD STREET VICTORIA, BC V8W 1S6 | MECHANICAL ENGINEER DIALOG CONTACT : DAN PRESCOTT 406 - 611 ALEXANDER STREET VANCOUVER, BC V6A 1E1 | CIVIL ENGINEER MCELHANNEY CONTACT : NATHAN DUNLOP 500 - 3960 QUADRA STREET VICTORIA, BC V8X 4A3 | CODE GHL CONSULTANTS LTD CONTACT : FRANKIE VICTOR 700 W PENDER STREET, SUITE 800 VANCOUVER, BC V6C 1G8 | ARBORIST D CLARK ARBORICULTURE CONTACT : MICHE HACHEY 2741 THE RISE VICTORIA, BC V6C 1G8 | ENVIRONMENTAL ACTIVE EARTH CONTACT : STEVE BOYCE 968 MEARES STREET VICTORIA, BC V8V 3J4 |
|---|--|---|--|--|---|--|---|---|--|



DEVELOPMENT DATA

FAR CALCULATIONS - 4st Option

| Level | | | | | | | | Balcony Area H | | | Net FSR L (G - K) |
|-----------------------------------|------------------|----------|------------------------|------------------------|-----------------|-----------------|------------------------------------|-------------------|----------|---------------------------|------------------------------|
| | Residential Area | Stairs | Circulation / Elevator | Bike Storage / Storage | Mech / Services | Amenity / Lobby | Gross Buildable G (A+B+C+D+E+F) | | Stairs | Total Deductions K (J) | |
| | A | B | C | D | E | F | G (A+B+C+D+E+F) | | J | K (J) | |
| EAST BLDG (LEGION) 01 | 185 sq.m | 26 sq.m | 74 sq.m | 109 sq.m | 55 sq.m | 215 sq.m | 663 sq.m | 0 sq.m | 26 sq.m | 26 sq.m | 637 sq.m |
| EAST BLDG (LEGION) 02 | 1,123 sq.m | 27 sq.m | 122 sq.m | 0 sq.m | 13 sq.m | 0 sq.m | 1,285 sq.m | 89 sq.m | 27 sq.m | 27 sq.m | 1,258 sq.m |
| EAST BLDG (LEGION) 03 | 1,124 sq.m | 26 sq.m | 122 sq.m | 0 sq.m | 13 sq.m | 0 sq.m | 1,285 sq.m | 89 sq.m | 26 sq.m | 26 sq.m | 1,259 sq.m |
| EAST BLDG (LEGION) 04 | 1,124 sq.m | 26 sq.m | 122 sq.m | 0 sq.m | 13 sq.m | 0 sq.m | 1,285 sq.m | 89 sq.m | 26 sq.m | 26 sq.m | 1,259 sq.m |
| Subtotal | 3,557 sq.m | 104 sq.m | 440 sq.m | 109 sq.m | 94 sq.m | 215 sq.m | 4,518 sq.m 48,631 sq.ft | 267 sq.m | 104 sq.m | 104 sq.m 1,121 sq.ft | 4,414 sq.m 47,510 sq.ft |
| WEST BLDG (MARKET RENTAL) 00 | 233 sq.m | 13 sq.m | 49 sq.m | 454 sq.m | 0 sq.m | 163 sq.m | 912 sq.m | 0 sq.m | 13 sq.m | 13 sq.m | 899 sq.m |
| WEST BLDG (MARKET RENTAL) 01 | 1,908 sq.m | 41 sq.m | 184 sq.m | 0 sq.m | 11 sq.m | 82 sq.m | 2,225 sq.m | 44 sq.m | 41 sq.m | 41 sq.m | 2,184 sq.m |
| WEST BLDG (MARKET RENTAL) 02 | 2,025 sq.m | 26 sq.m | 181 sq.m | 0 sq.m | 11 sq.m | 0 sq.m | 2,243 sq.m | 191 sq.m | 26 sq.m | 26 sq.m | 2,217 sq.m |
| WEST BLDG (MARKET RENTAL) 03 | 2,024 sq.m | 26 sq.m | 180 sq.m | 0 sq.m | 12 sq.m | 0 sq.m | 2,242 sq.m | 194 sq.m | 26 sq.m | 26 sq.m | 2,216 sq.m |
| WEST BLDG (MARKET RENTAL) 04 | 2,024 sq.m | 26 sq.m | 181 sq.m | 0 sq.m | 11 sq.m | 0 sq.m | 2,242 sq.m | 186 sq.m | 26 sq.m | 26 sq.m | 2,216 sq.m |
| Subtotal | 8,215 sq.m | 132 sq.m | 774 sq.m | 454 sq.m | 46 sq.m | 245 sq.m | 9,864 sq.m 106,179 sq.ft | 615 sq.m | 132 sq.m | 132 sq.m 1,417 sq.ft | 9,733 sq.m 104,762 sq.ft |
| Grand Total (Above Grade) | 11,772 sq.m | 236 sq.m | 1,214 sq.m | 562 sq.m | 139 sq.m | 460 sq.m | 14,382 sq.m 154,809 sq.ft | 882 sq.m | 236 sq.m | 236 sq.m 2,538 sq.ft | 14,146 sq.m 152,271 sq.ft |
| Total Site Area: | | | | | | | | | | | 8,089 sq.m |
| Total FSR : | | | | | | | | | | | 1.75 |
| Market Rental FSR (w/subdivision) | | | | | | | | | | | 1.84 |
| Legion FSR (w/subdivision) | | | | | | | | | | | 1.58 |
| T.O. ROOF | | 0 sq.m | 0 sq.m | 0 sq.m | 0 sq.m | 0 sq.m | - | - | | | - |
| LEVEL P1 LOWER | | 0 sq.m | 0 sq.m | 0 sq.m | 0 sq.m | 0 sq.m | - | - | | | - |
| Grand Total | 11,772 sq.m | 236 sq.m | 1,214 sq.m | 562 sq.m | 139 sq.m | 460 sq.m | 14,382 sq.m 154,809 sq.ft | | | | |

UNIT MIX

| | | | | | | |
|--------------------------------------|--------|-------|----------|-------|-------|-------|
| WEST BLDG (MARKET RENTAL) - Unit Mix | | | | | | |
| | Studio | 1BDRM | JR 2BDRM | 2BDRM | 3BDRM | TOTAL |
| Level 0 | 0 | 1 | 0 | 1 | 1 | 3 |
| Level 1 | 8 | 13 | 2 | 4 | 4 | 31 |
| Level 2 | 8 | 13 | 1 | 5 | 5 | 32 |
| Level 3 | 8 | 13 | 1 | 5 | 5 | 32 |
| Level 4 | 8 | 13 | 1 | 5 | 5 | 32 |
| Total | 32 | 53 | 5 | 20 | 20 | 130 |
| | 25% | 41% | 4% | 15% | 15% | |
| | Studio | 1BDRM | 2BDRM | 3BDRM | | |

| EAST BLDG (LEGION) - Unit Mix | | | | | | |
|-------------------------------|--------|-------|-------|-----|-------|-------|
| | Studio | 1BDRM | | | | TOTAL |
| BLDG C LVL 1 | 0 | 3 | | | | 3 |
| BLDG C LVL 2 | 1 | 17 | | | | 18 |
| BLDG C LVL 3 | 1 | 17 | | | | 18 |
| BLDG C LVL 4 | 1 | 17 | | | | 18 |
| Total | 3 | 54 | | | | 57 |
| | 5% | 95% | | | | |
| | | | | | | |
| GRAND TOTAL | 35 | 107 | 5 | 20 | 20 | 187 |
| | 19% | 57% | 3% | 11% | | |
| | STUDIO | 1BDRM | 2BDRM | | 3BDRM | |

PROJECT INFORMATION

| LEGAL DESCRIPTION | MUNICIPAL ADDRESS |
|---|---|
| LOTS 1, 2 + 3, PLAN 16991, SECTION 7, RANGE 2 EAST, SOUTH SAANICH DISTRICT | 7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD |
| BUILDING CODE SUMMARY | |
| PROJECT DESCRIPTION: THE PROPOSED PROJECT IS A REZONING OF 5 ASSEMBLED RM-1 LOTS INTO A COMBINED LOT REZONED TO RM-5. THE PROJECT PROPOSES A MULTIFAMILY, PURPOSE BUILT RENTAL PROJECT CONSISTING OF (1) 4-STORY AND (1) 4/5 STORY, WOOD FRAME BUILDINGS. THE WEST BUILDING CONTAINS 130 RENTAL UNITS OVER AN UNDERGROUND PARKADE, AND THE EAST BUILDING CONTAINS 57 SENIOR ORIENTED RENTAL UNITS WITH SURFACE PARKING | |
| GOVERNING CODE: 2024 BC BUILDING CODE / 2018 BCBC FOR SEISMIC AND ADAPTILITY REQUIREMENTS | |
| AUTHORITY HAVING JURISDICTION: CENTRAL SAANICH | |
| DEVELOPMENT PERMIT PROJECT NUMBER: <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> NEW: <DP NUMBER> | |
| MAJOR OCCUPANCY (S): GROUP C - APARTMENTS | |
| MINOR OCCUPANCY (S): GROUP F3 - STORAGE GARAGE | |
| GROSS AREA (m²): | WEST BUILDING (MARKET RENTAL) TOTAL AREA: 9,864 m² EAST BUILDING (LEGION) TOTAL AREA: 4,518 m² |
| NUMBER OF STOREYS: | ABOVE GRADE: 4 and 5 STOREYS BELOW GRADE: 1 STOREY |
| SPRINKLERED: | YES (NFPA-13) |
| STANDPIPE: | YES |
| CONSTRUCTION TYPE: | WEST BUILDING (MARKET RENTAL) LEVEL P1 - NON COMBUSTIBLE LEVEL 0 - NON COMBUSTIBLE LEVEL 1-4 - COMBUSTIBLE |
| | EAST BUILDING (LEGION) LEVEL 1 - NON COMBUSTIBLE (UNDERCROFT PARKING) LEVEL 2/3/4 - COMBUSTIBLE |

DEVELOPMENT PERMIT ZONING SUMMARY

| | REQUIRED RM-1 | PROPOSED RM-5 | VARIANCE |
|--|--------------------|--------------------|-------------|
| Building Use | | | |
| Setbacks - Front | | | |
| Lot 1 - West Building (Market Rental) | | | |
| Rear | 10.5m | 10.5m | 0 |
| Side | 6.0m | 6.0m | 0 |
| Front | 6.0m | 6.0m | 0 |
| Exterior Side | 6.0m | 6.0m | 0 |
| Lot 2 - East Building (Legion) | | | |
| Rear | 10.5m | 5.0m | -5.5m |
| Side (+5m when adjacent to ALR) | 11.0m | 11.0m | 0.0m |
| Front | 6.0m | 6.0m | 0.0m |
| Exterior Side | 6.0m | 3.0m | -3.0m |
| Building Height | | | |
| West Building (Market Rental) | | | |
| Community Garden Side (5 story massing) | 15.0m | 16.2m | 1.2m |
| E. Saanich Rd. Side (4 story massing) | 15.0m | 14.5m | -0.5m |
| Average Building Height | | 15.4m | |
| East Building (Legion) | | | |
| | 15m | 14.5m | -0.5m |
| Accessory Structure Height | | | |
| | 4.5m | n/a | n/a |
| Lot Area | | | |
| Lot 1 - West Building (Market Rental) | n/a | 5,291 sq.m | |
| Lot 2 - East Building (Legion) | n/a | 2,798 sq.m | |
| | | 8,089 sq.m | |
| Lot Frontage | | | |
| Lot 1 - West Building (Market Rental) | n/a | 46.4m | |
| Lot 2 - East Building (Legion) | n/a | 33.6m | |
| Lot Coverage | | | |
| Lot 1 - West Building (Market Rental) | 45% | 46% | 1% |
| Lot 2 - East Building (Legion) | 45% | 55% | 10% |
| Floor Area Ratio | | | |
| Lot 1 - West Building (Market Rental) | 1.6 | 1.84 | 0.24 |
| Lot 2 - East Building (Legion) | 1.6 | 1.58 | -0.02 |
| OFF STREET PARKING SUMMARY | | | |
| Parking Spaces (On Site) | | | |
| | 281 Stalls | 161 Stalls | -120 Stalls |
| | 1.5 Stalls / unit | 0.86 Stalls / unit | |
| Visitor Parking (On Site) | | | |
| | 47 Stalls | 18 Stalls | -29 Stalls |
| | 25 Stalls / unit | 0.10 Stalls / unit | |
| On Site Subtotal | 327 Stalls | 179 Stalls | -148 Stalls |
| | 1.75 Stalls / unit | 0.96 Stalls / unit | |
| Overflow Parking at Legion Property (Off Site) | | | |
| | | 14 Stalls | |
| Total Parking Stalls | 327 Stalls | 193 Stalls | -134 Stalls |
| | | 1.03 Stalls / unit | |
| Spaces for Accessibility | | | |
| Accessible Type A (3.7m x 5.5m) | 2 Stalls | 2 Stalls | 0 Stalls |
| Accessible Type B (2.7m x 5.5m) | 11 Stalls | 11 Stalls | 0 Stalls |
| Loading Space (3m x 9m) | | | |
| | 0 | 1 | 1 |
| OFF STREET PARKING DESIGN | | | |
| Increase width wall/fence (0.3m) | 0.3m | 0.3m | 0 |
| Manoeuvring aisle | | | |
| Parking Setbacks | 7.5m | 7.5m | 0 |
| | n/a | | |
| Bicycle Parking (Both Buildings) | | | |
| Bicycle Racks Short Term (1 / 10 stalls) | | | |
| | 33 Bikes | 44 Bikes | 11 Bikes |
| Bicycle Storage Long Term | | | |
| Lot 1 - West Building (Market Rental) | | | |
| | 195 Bikes | 308 Bikes | 113 Bikes |
| | 1.5 Bikes / unit | 2.37 Bikes / unit | |
| Bike Stall Breakdown | | | |
| Quad Racks (4 Bikes / Rack) | | 212 Bikes | |
| Wall Mount (2 Bikes / Rack) | | 58 Bikes | |
| Oversize / Cargo Bikes | | 38 Bikes | |
| Lot 2 - East Building (Legion) | | | |
| | 86 Bikes | 56 Bikes | -30 Bikes |
| | 1.5 Bikes / unit | 0.98 Bikes / unit | |

Note: The Legion has provisions for 15 mobility scooter parking in lieu of bike parking

PARKING BREAKDOWN

| | Lot 1 West Building (Parkade) | Lot 2 East Building (Legion) | Totals |
|--|-------------------------------------|------------------------------------|----------------------------------|
| Standard (2.7m x 5.5m) | 86 Stalls | 13 Stalls | 99 Stalls |
| Small Car (2.4m x 5.0m) - 30% allowable | 39 Stalls | 10 Stalls | 49 Stalls |
| Accessible Type A (3.7m x 5.5m) | 0 Stalls | 2 Stalls | 2 Stalls |
| Accessible Type B (2.7m x 5.5m) | 5 Stalls | 6 Stalls | 11 Stalls |
| Subtotal | 130 Stalls 1.00 Stalls / unit | 31 Stalls 0.54 Stalls / unit | 161 Stalls 0.86 Stalls / unit |
| Visitor Parking | 6 Stalls | 12 Stalls | 18 Stalls |
| | 0.05 Stalls / unit | 0.21 Stalls / unit | 0.10 Stalls / unit |
| Subtotal | 136 Stalls | 43 Stalls | 179 Stalls |
| Overflow Parking at Legion Property (Off Site) | | 14 Stalls | 14 Stalls |
| Grand Total | 136 Stalls 1.05 Stalls / unit | 57 Stalls 1.00 Stalls / unit | 193 Stalls 1.03 Stalls / unit |

- VARIANCE REQUESTS
- Lot Coverage for the West Bldg
 - Rear and Side Setbacks for Lot 2
 - Project wide parking stall reduction
 - Bike parking reduction for the Legion Bldg
 - Balcony encroachment on the West Bldg



DRONE VIEW - LOOKING SOUTHWEST



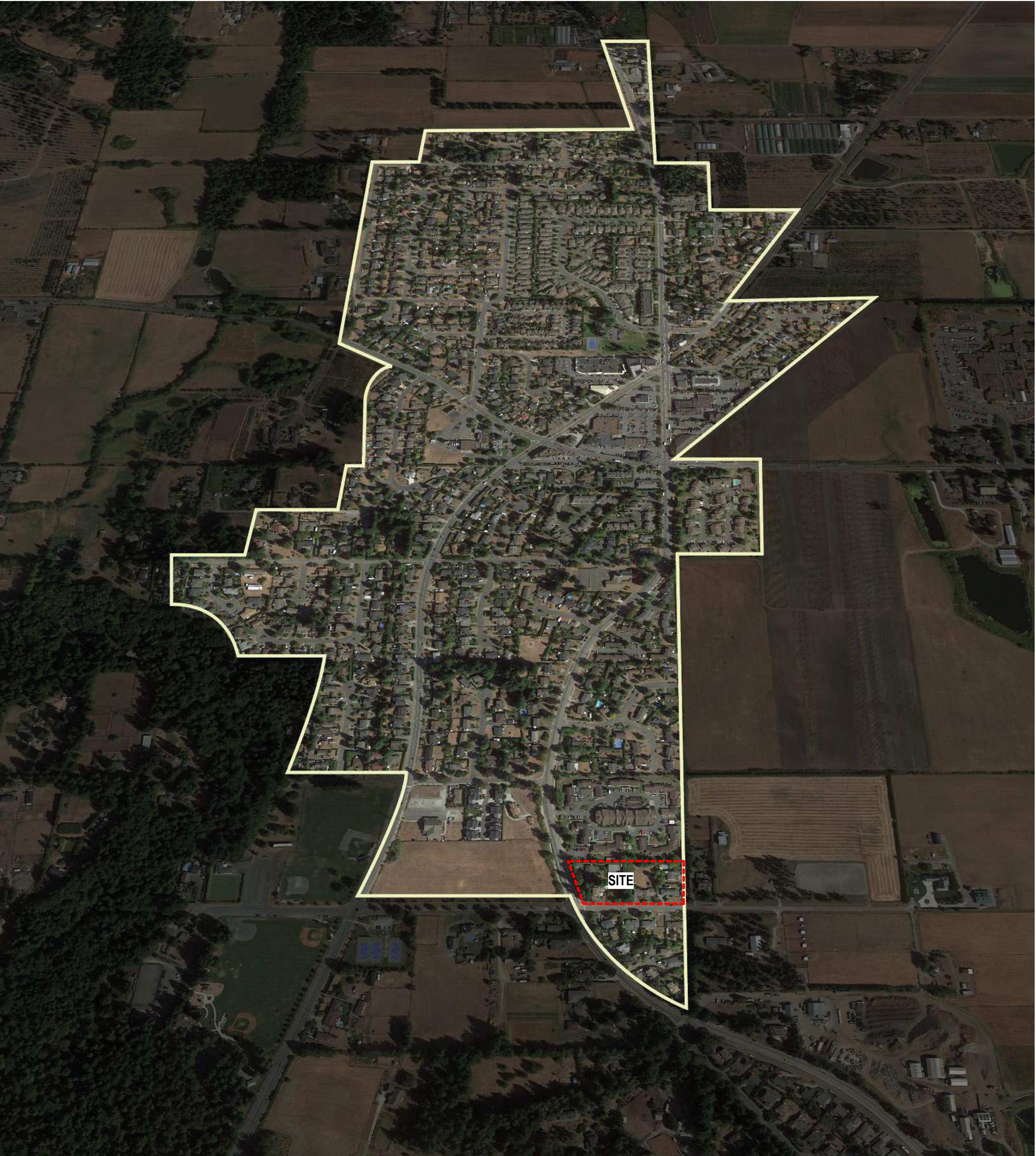
DRONE VIEW - LOOKING SOUTHEAST



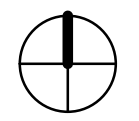
DRONE VIEW - LOOKING NORTHEAST

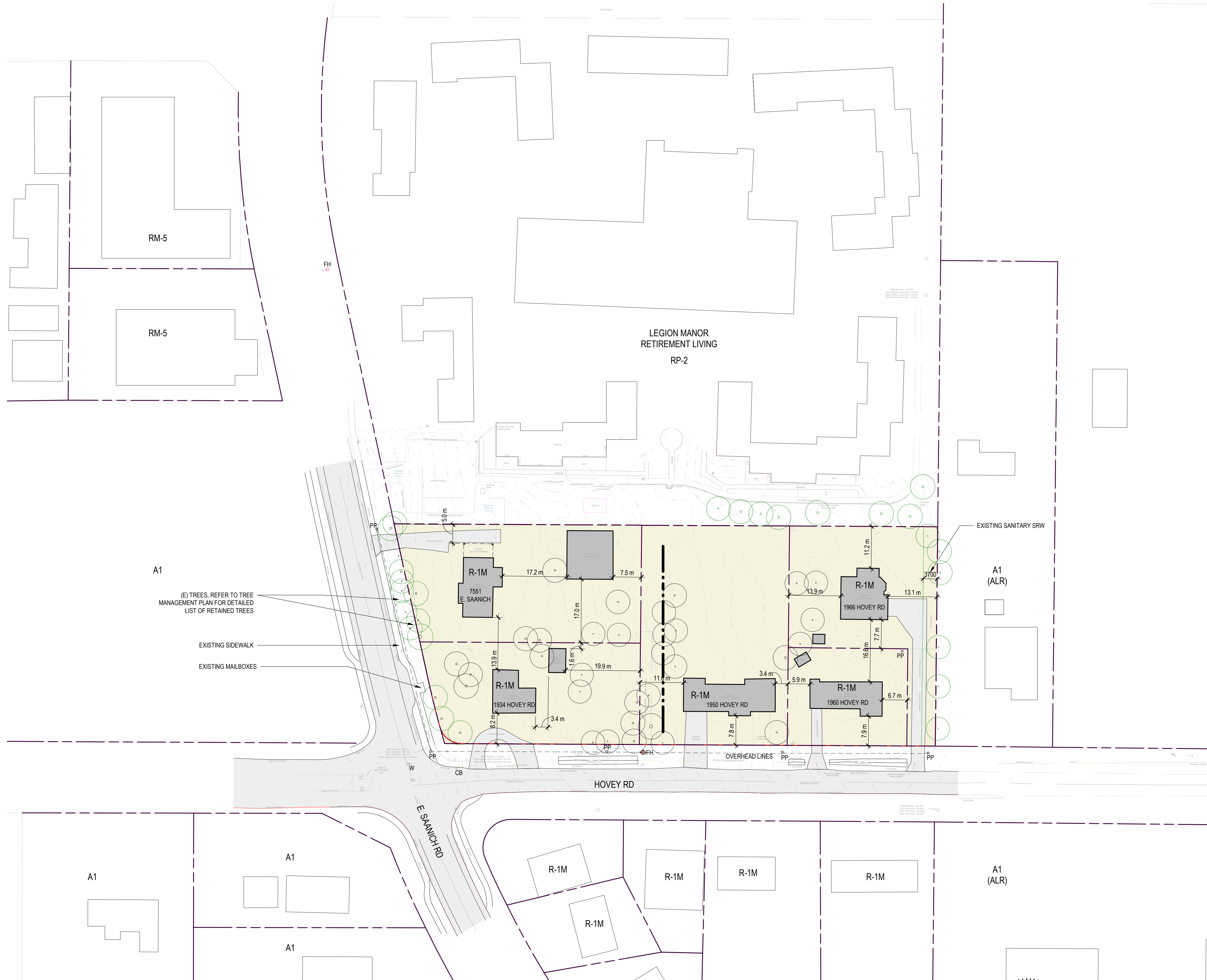


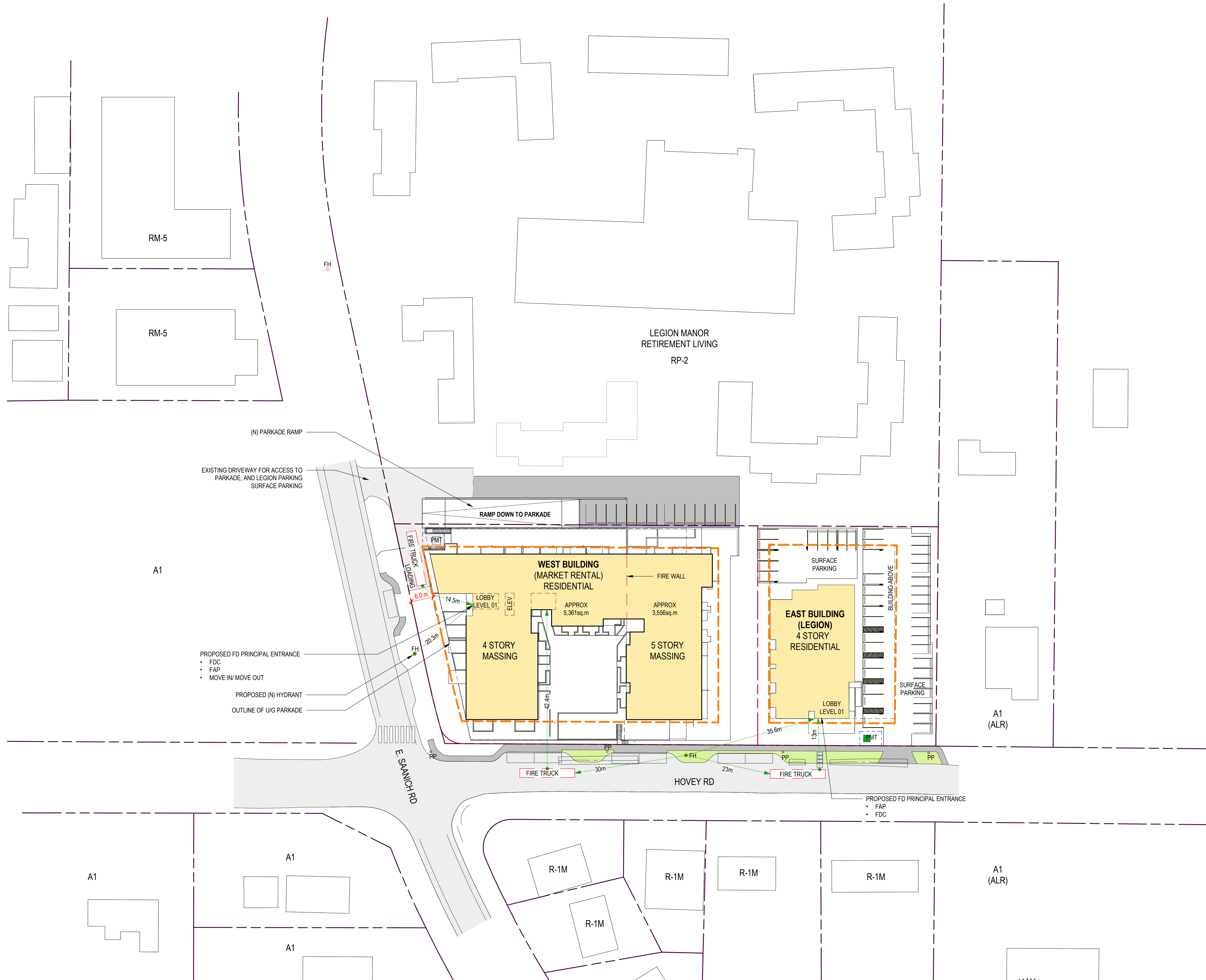
DRONE VIEW - LOOKING NORTHWEST



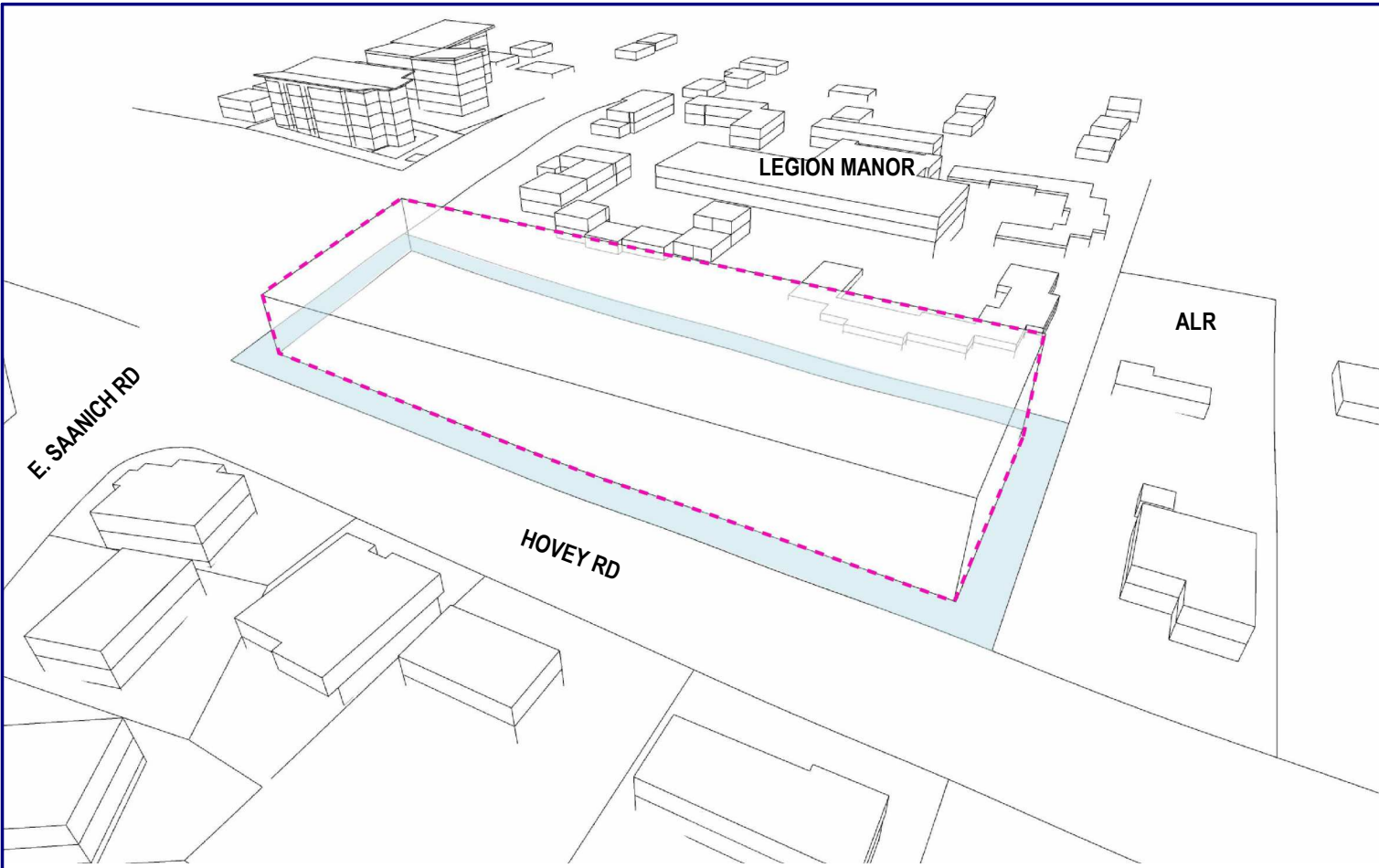
CENTRAL SAANICH URBAN CONTAINMENT BOUNDARY AND SITE LOCATION



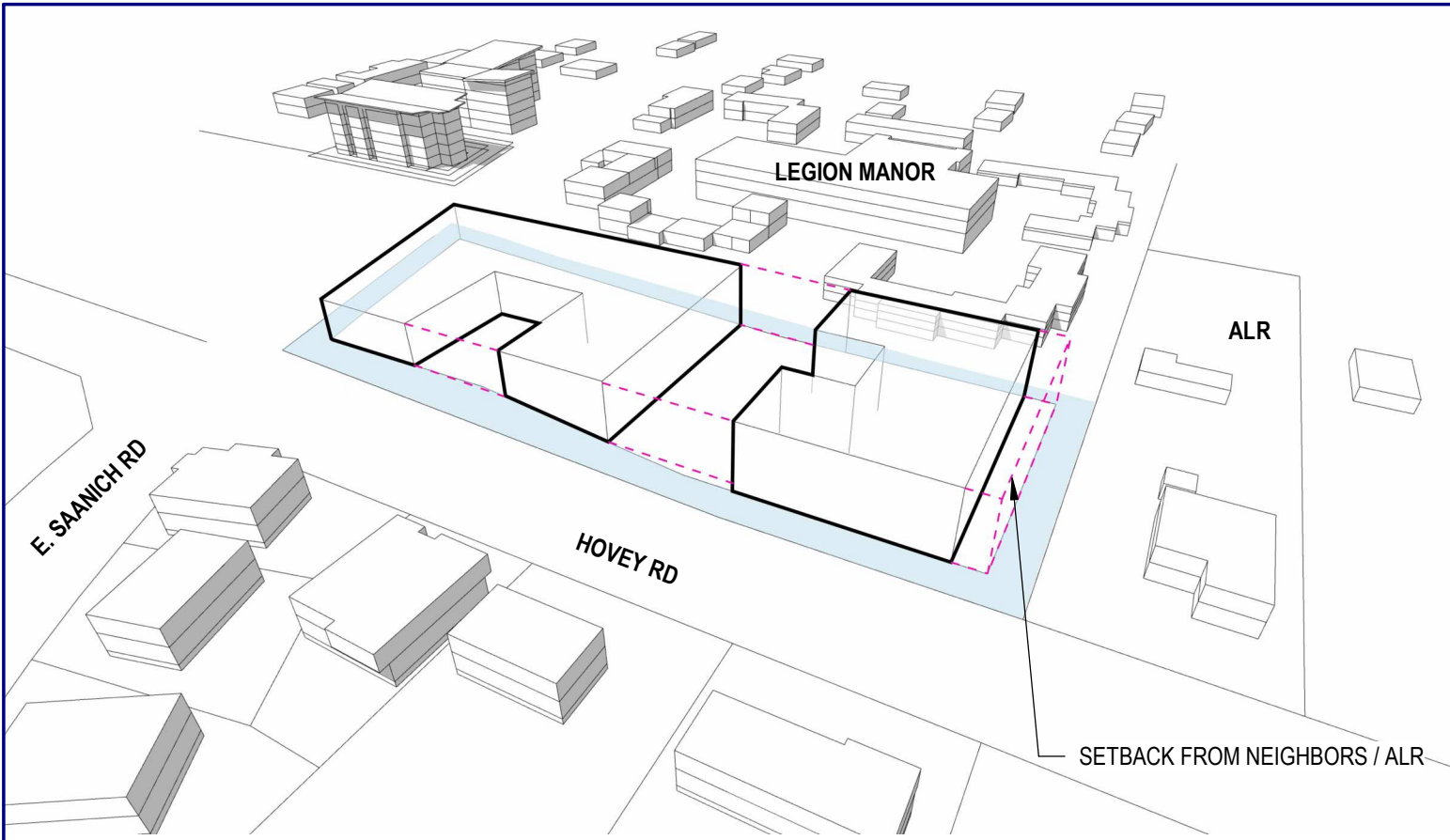




MASSING / LAYOUT



1. DEVELOPMENT ENVELOPE



2. SETBACKS AND BUILDING SEPARATION

North-South Orientation

The buildings are oriented north-south. This orientation has several advantages, including maximizing sunlight penetration into the spaces between the buildings. It also ensures that sightlines across the site are maintained, creating a more open and connected feeling.



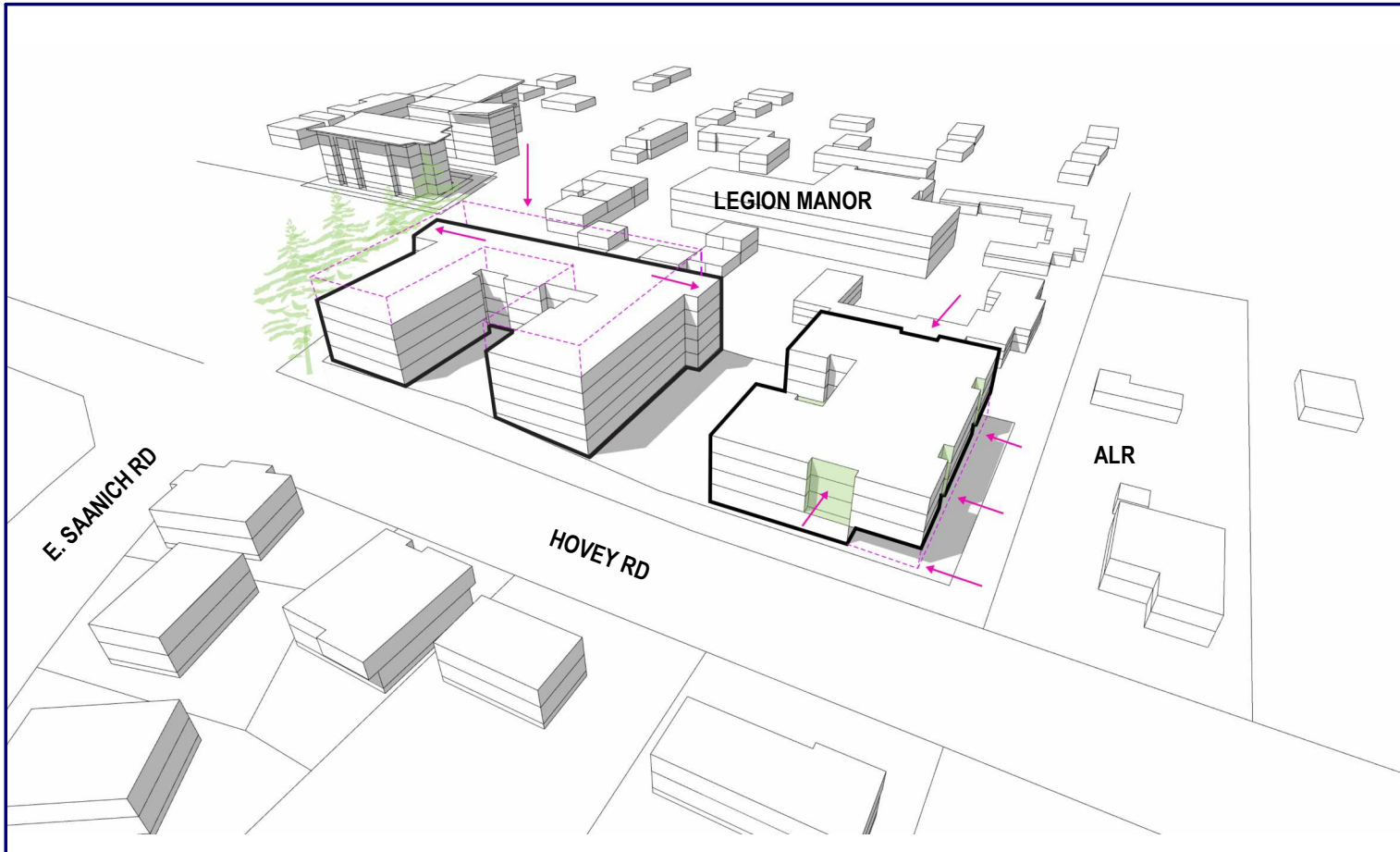
3. LANDSCAPE / ORIENTATION TO STREET

Community Connection with Landscape

- Two distinct buildings harmonize with the neighborhood and support diverse resident needs.
- U-shaped building:
 - Central courtyard fosters community and outdoor engagement.
 - Short ends face Hovey Road, ensuring a smooth transition to single-family homes.
- Seniors' housing:
 - 4-story podium with east-side tuck-under parking and west-side community garden.
 - Accessible design with elevators, wide corridors, and adaptable layouts.
- Sustainability:
 - Energy-efficient systems, stormwater management, and renewable materials.
 - Holistic design: Prioritizes community, environmental stewardship, and neighborhood integration.

Orientation Along Hovey Rd

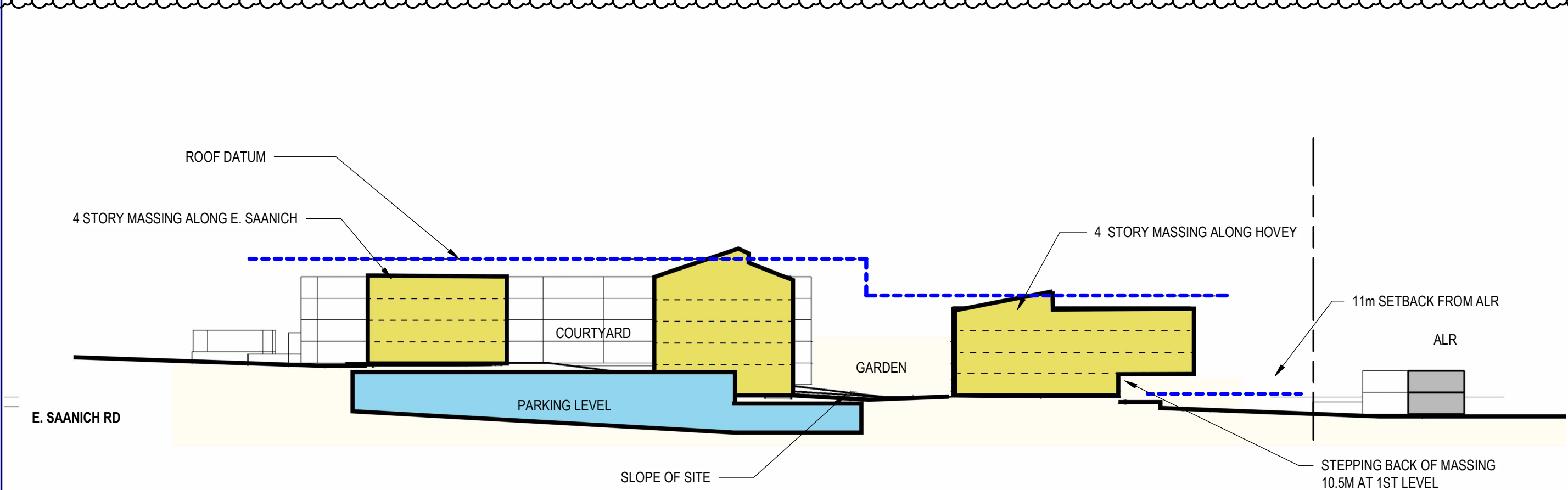
- Building alignment
 - Short ends face Hovey Road to match the scale and rhythm of nearby single-family homes.
- Harmonious integration
 - Creates a respectful transition between building types and enhances the streetscape.
- Design balance
 - Combines community spaces, sustainability, and neighborhood compatibility.



4. FORM AND MASSING

- Inspired by simplicity
 - The architecture takes cues from simple, agrarian building forms, giving it a grounded, timeless feel that fits naturally into the neighborhood.
- Dynamic design
 - Recessed balconies, varied rooflines, and pushed-and-pulled building faces add depth, rhythm, and visual interest.
- Human scale
 - Breaks up long elevations, making the building feel smaller and more approachable.
- Light and air
 - Maximizes natural light and ventilation, keeping spaces brighter, fresher, and more energy-efficient.

- Practical perks:
 - Recessed balconies provide shade, improve thermal comfort, and create private, usable outdoor spaces.
 - Help connect private living areas with public spaces.
- Stylish and functional
 - The mix of materials and the play of light and shadow add personality while blending well with the neighborhood.
- Big picture
 - Balances style, sustainability, and livability to create a design that works for people and the community.



Massing and Slope Grade

The massing of the buildings is designed in a way that allows them to follow the sloping grade of the land while maintaining a consistent height.

The building's ground floor plates step down with natural grade, allowing them to have entry conditions that seamlessly respond to their surroundings.



ARCHITECTURAL CHARACTER

Architectural Style and Design

The design for this multifamily project is rooted in the rural, agrarian character of the surrounding area, with a focus on simplicity, functionality, and integration with the landscape. We drew inspiration from the straightforward form of barns, which are iconic in rural architecture. While the buildings feature clean, modern lines, they maintain a connection to the simplicity of traditional farm structures, creating a design that is both contemporary and respectful of the past.

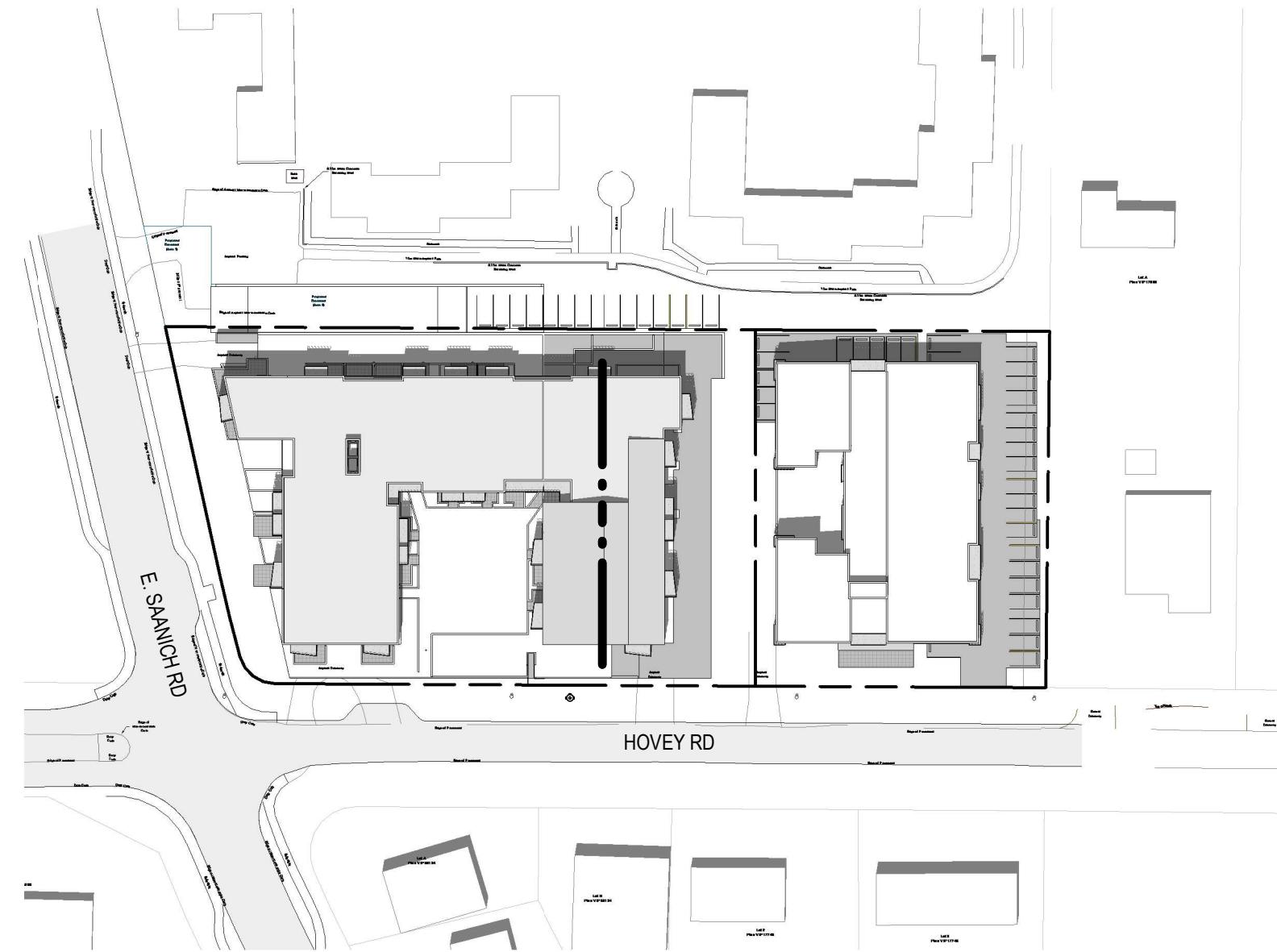
Landscaping and Green Space

A key aspect of the project is the integration of open spaces between the buildings, which not only create a sense of openness but also serve as resident amenities. These spaces are designed to encourage community interaction, relaxation, and outdoor activities. Community gardens are a significant feature, offering opportunities for residents to engage with nature and grow their own food.

To give the project vibrancy and character, the buildings themselves incorporate bold, yet harmonious colors. This adds a lively contrast to the natural materials used, infusing the design with energy while still blending with the rural setting. This thoughtful approach helps create a welcoming and dynamic living environment, rooted in its surroundings yet distinctly modern.



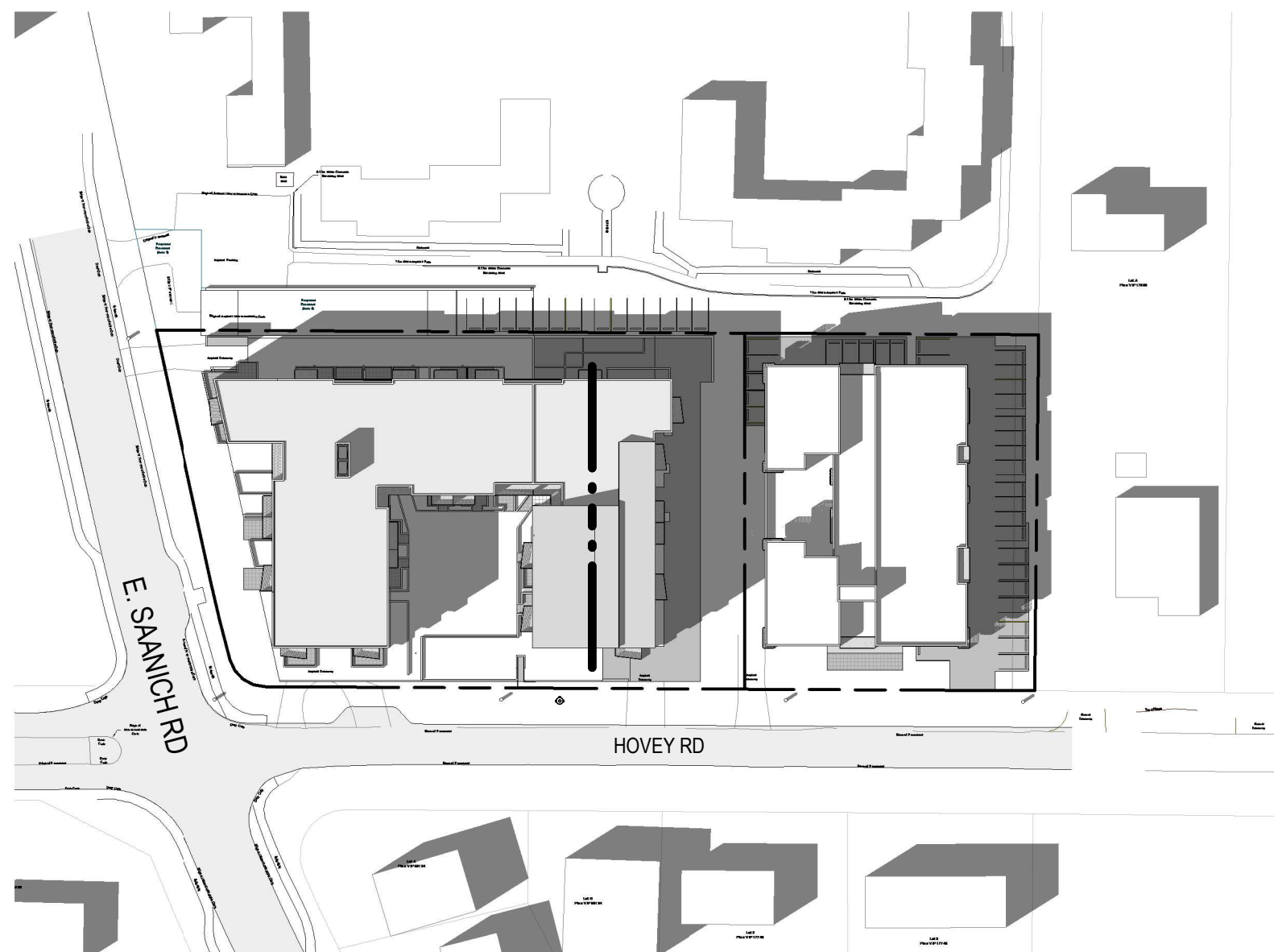
MARCH 21 9AM



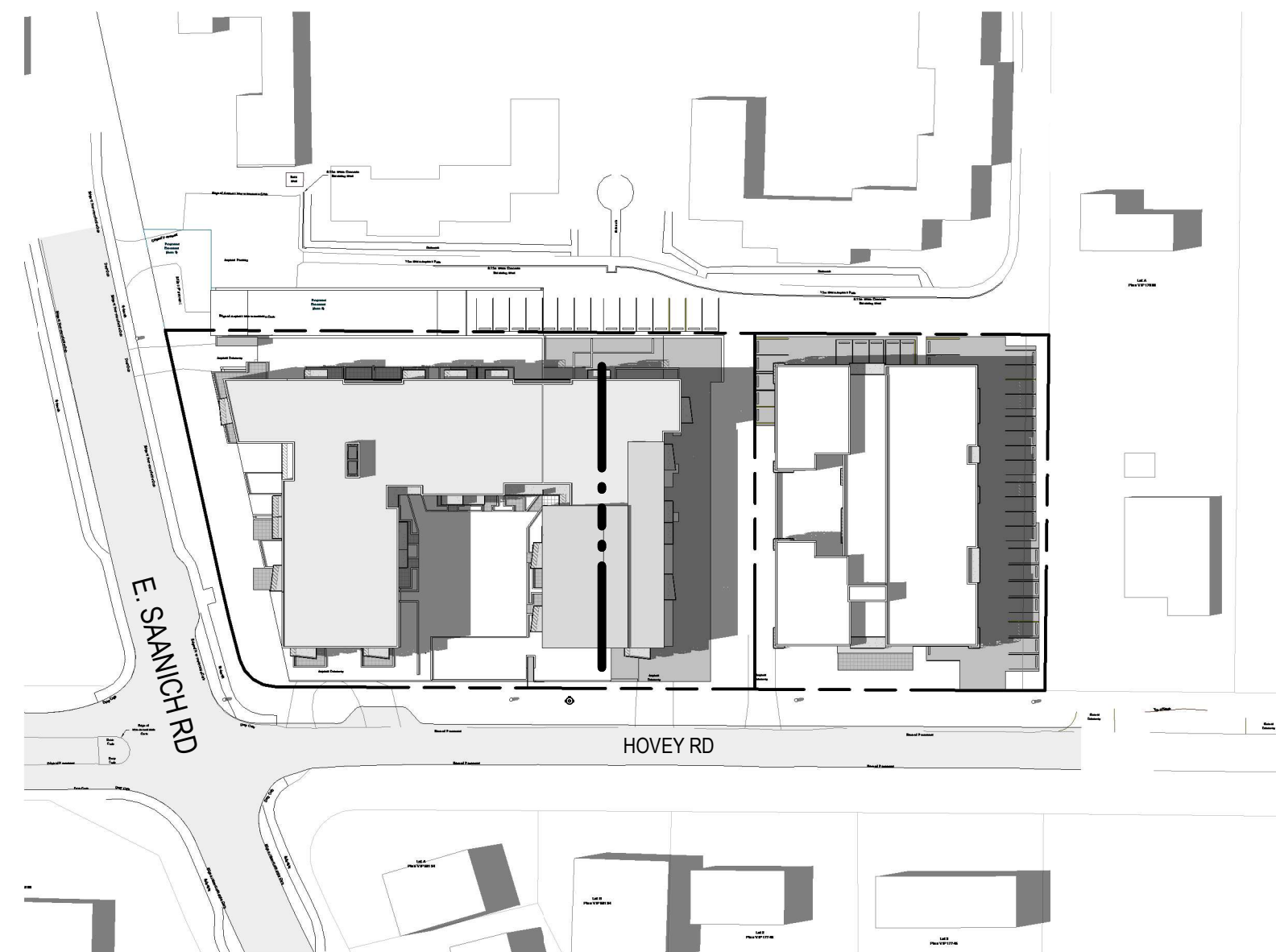
JUNE 21 9AM



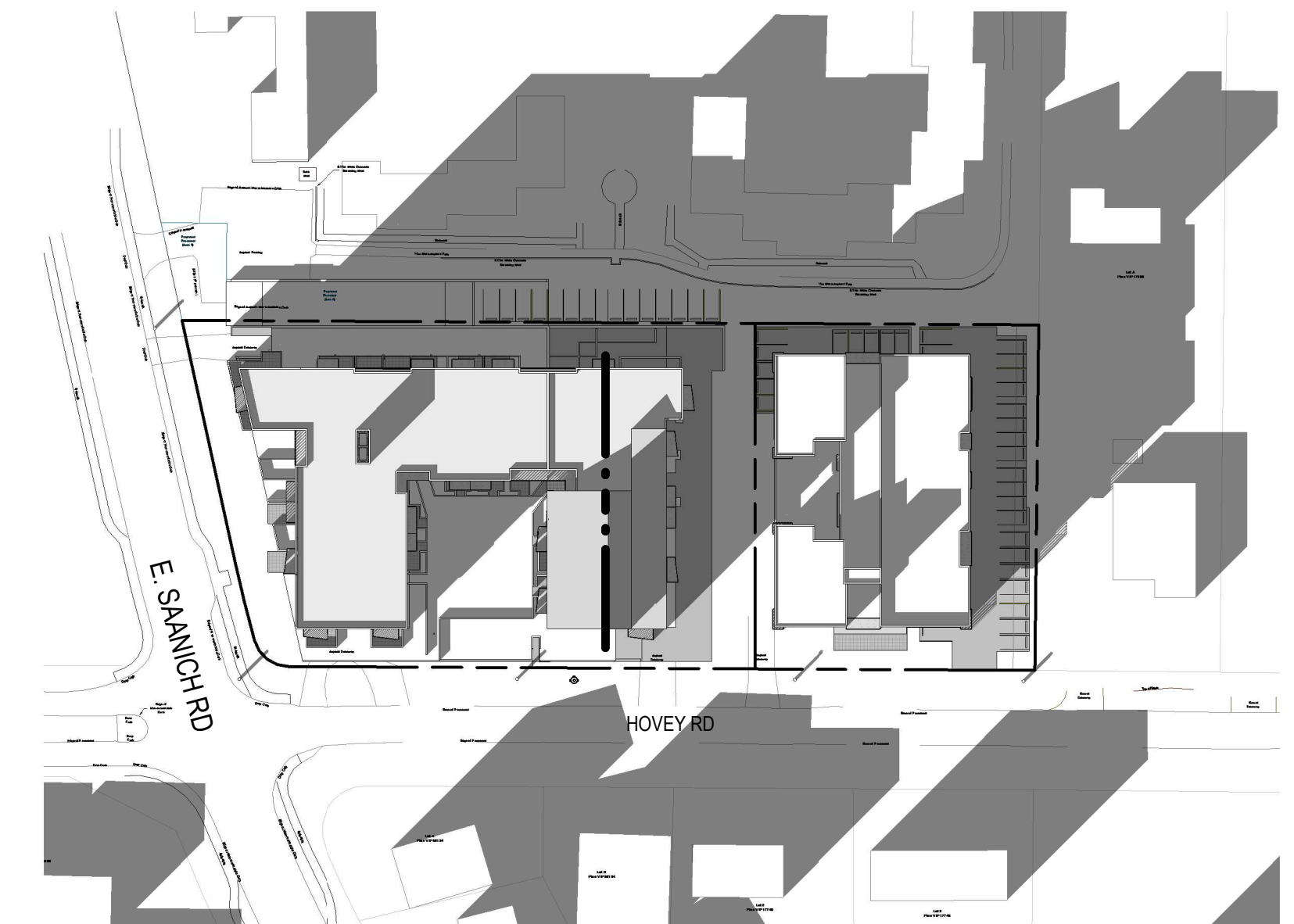
DEC 21 8AM



MARCH 21 12PM



JUNE 21 12PM



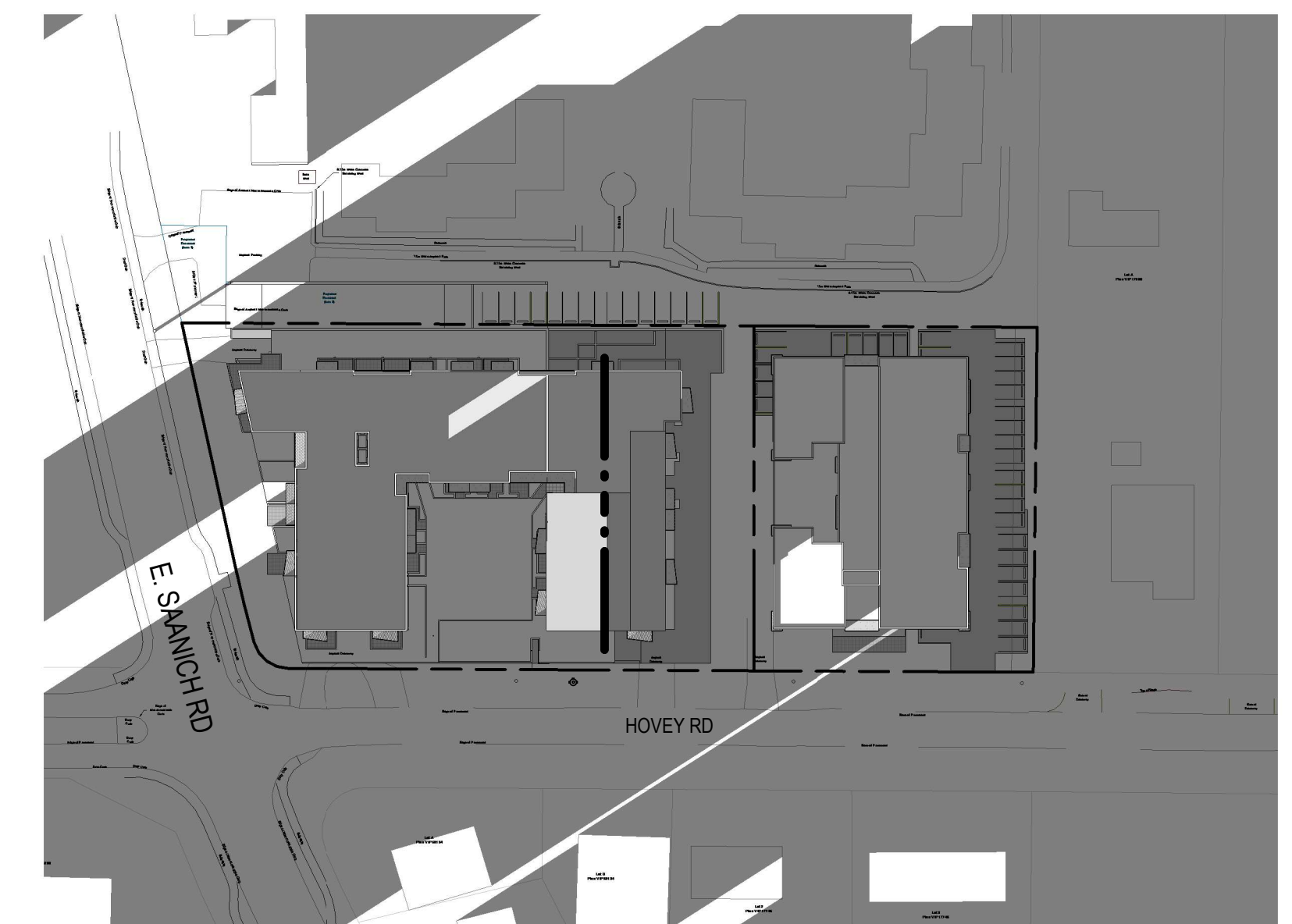
DEC 21 12PM



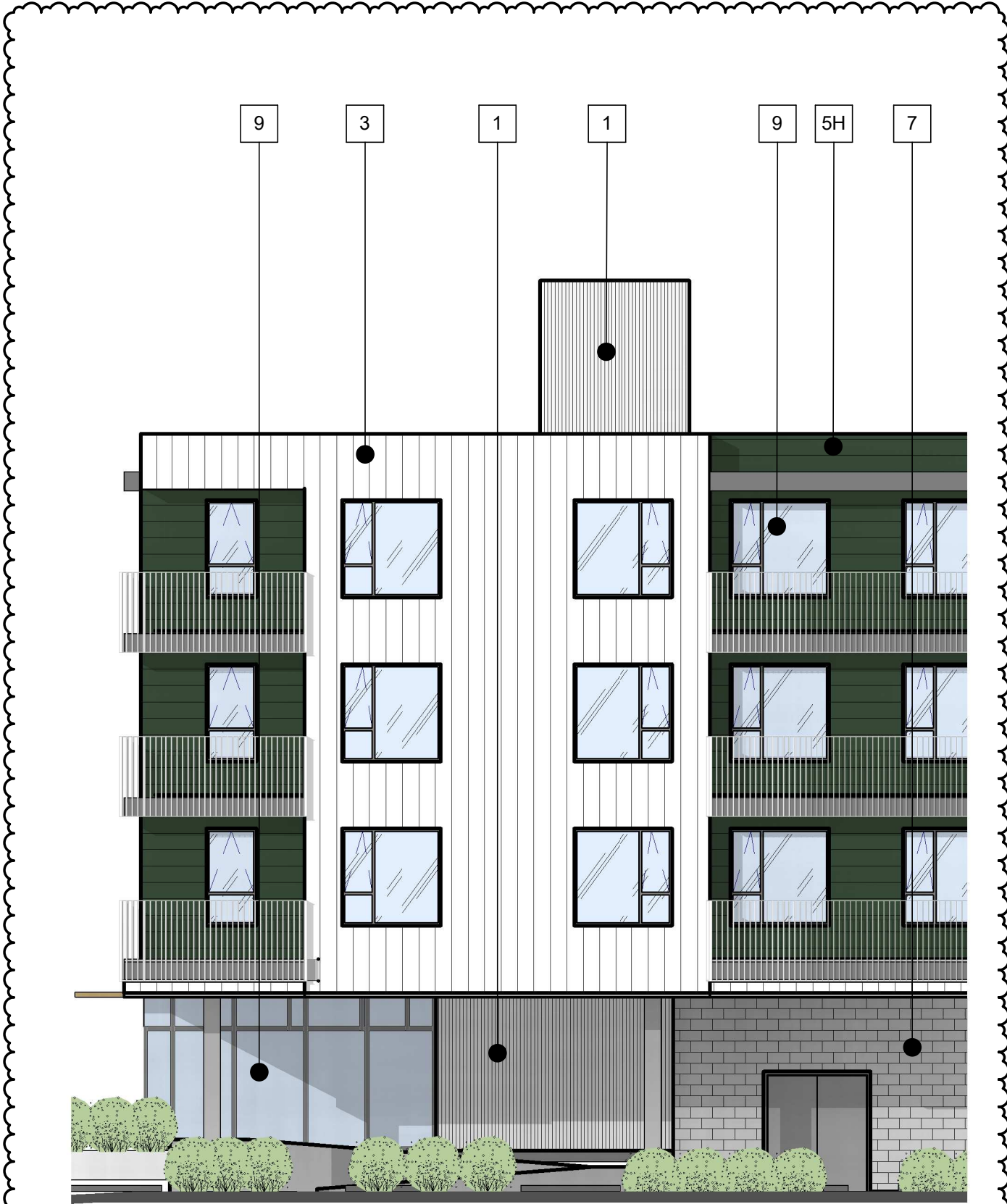
MARCH 21 4PM



JUNE 21 4PM



DEC 21 3PM

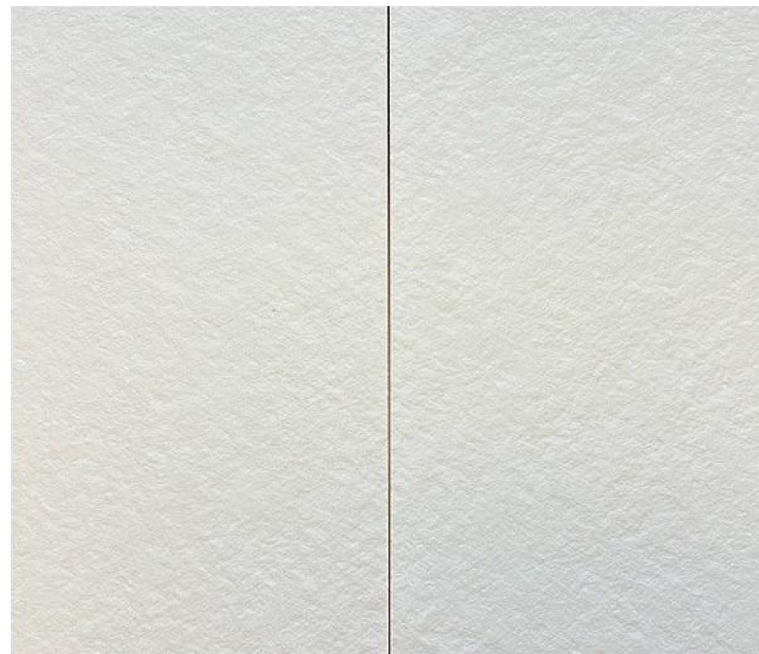
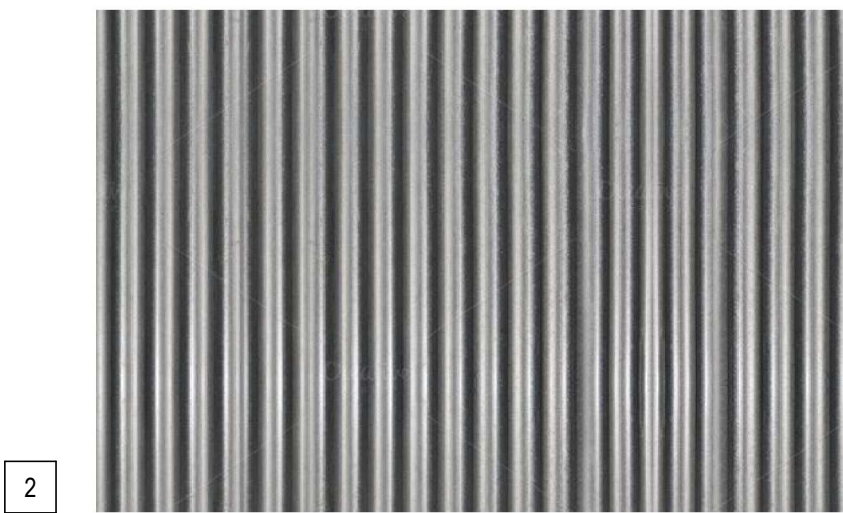
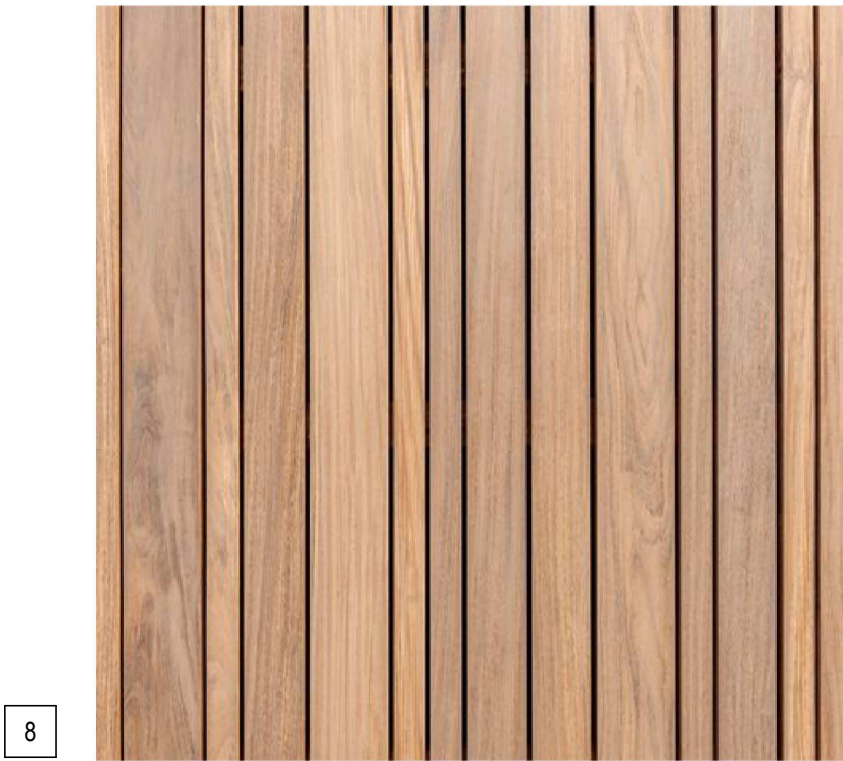


PARTIAL BUILDING ELEVATION
(EAST BUILDING SHOWN)



PARTIAL BUILDING ELEVATION
(WEST BUILDING SHOWN)

| MATERIAL LEGEND | | |
|-----------------|--|---|
| 1 | | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY |
| 2 | | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 3 | | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 4 | | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| 5 | | FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, V = VERTICAL, H = HORIZ JOINTS, 10'-0" LENGTHS |
| 6 | | ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES |
| 7 | | CMU - EXPOSED, BASE OF BUILDING |
| 8 | | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| 9 | | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| 10 | | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| 11 | | BALCONY - VERTICAL STEEL PICKETS, PTD. , ALUMINUM PANEL AT END, PTD. |
| 12 | | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| 13 | | FIRE RATED METAL DOOR GREY |



MATERIAL PALLETTE INSPIRATION

This material palette combines the honesty and simplicity of agricultural buildings with the practicality and durability required for a modern structure. The hope is to create a strong connection to the rural surroundings and contribute to a timeless, functional design, and create a unique sense of place and identity. Additionally, the choice of materials in this palette can be complemented by the addition of color, and texture.

- **Corrugated Metal Siding:** Corrugated metal siding is a practical choice for both its durability and its visual appeal in an agricultural context. It's capable of withstanding the elements, and its simple, linear profile contributes to the rustic aesthetic.
- **Wide Vertical Planks:** Wide plank cladding is a traditional material found in rural and agricultural buildings
- **Concrete Block Base (Legion Bldg):** A concrete block base provides stability and a solid foundation for the structure. Concrete is a robust and low-maintenance material, making it suitable for the lower portion of the building. The contrast between concrete and the other materials can also add visual interest to the facade.



AERIAL VIEW OF PROPOSED PROJECT FROM SOUTHEAST



VIEW ALONG E. SAANICH ROAD, LOOKING NORTHEAST



DIALOG

VIEW ALONG HOVEY ROAD, LOOKING INTO THE WEST BUILDING COURTYARD



MARKET RENTAL - MAIN ENTRY ALONG E. SAANICH RD.



LEGION MANOR (SENIOR HOUSING)- MAIN ENTRY ALONG E. HOVEY RD.

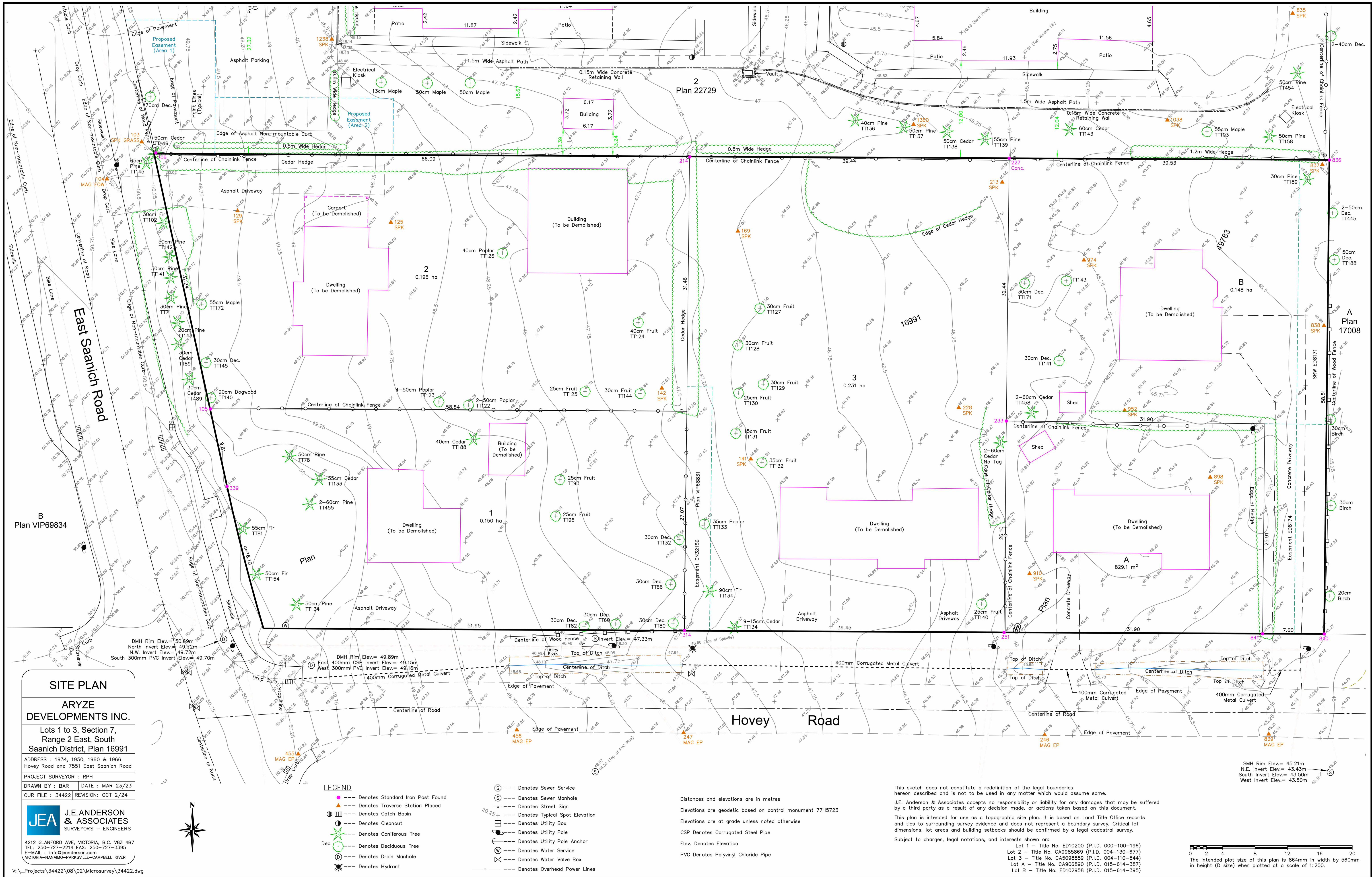


DIALOG

LEGION MANOR (SENIOR HOUSING)- MAIN ENTRY ALONG E. HOVEY RD.



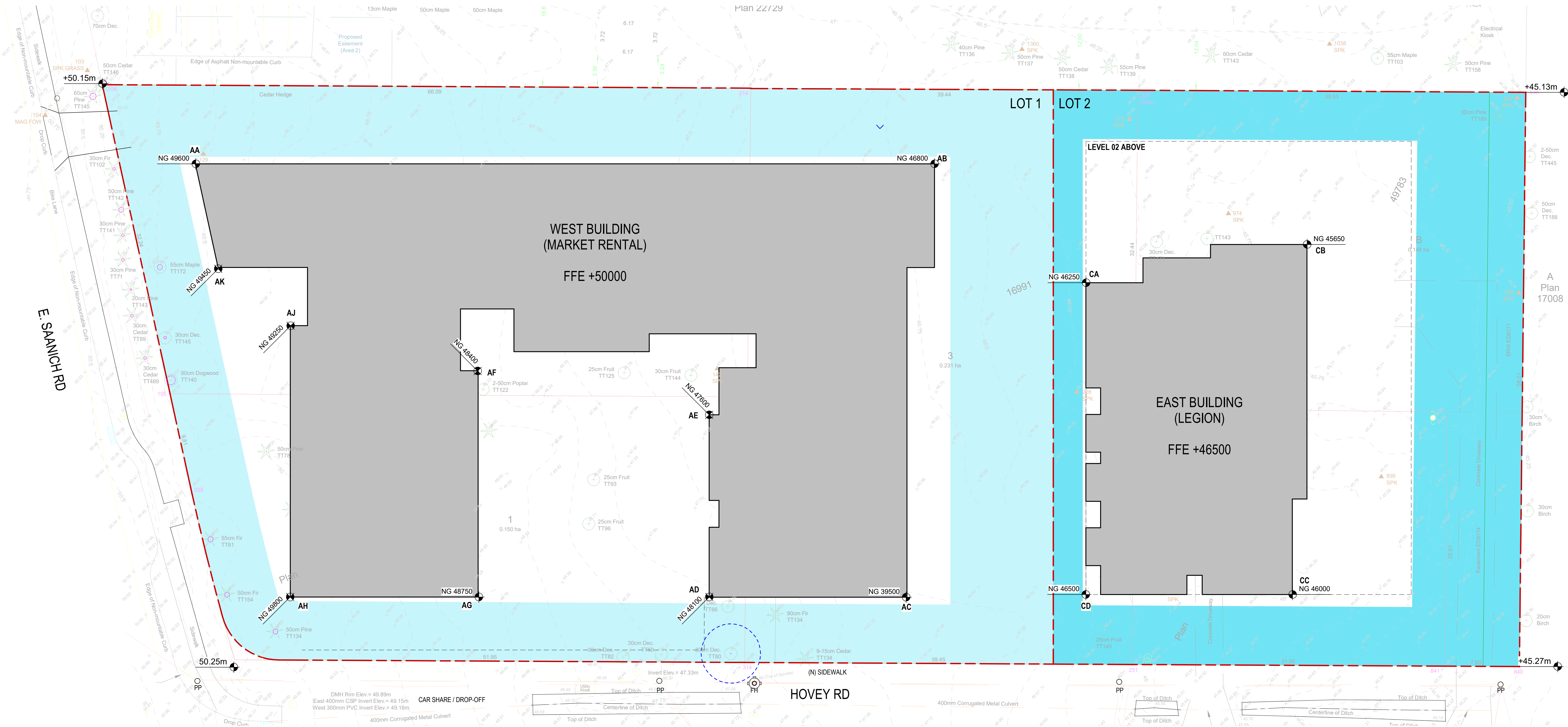
1 HOVEY ROAD ELEVATION
DP0.15 SCALE: 1 : 200



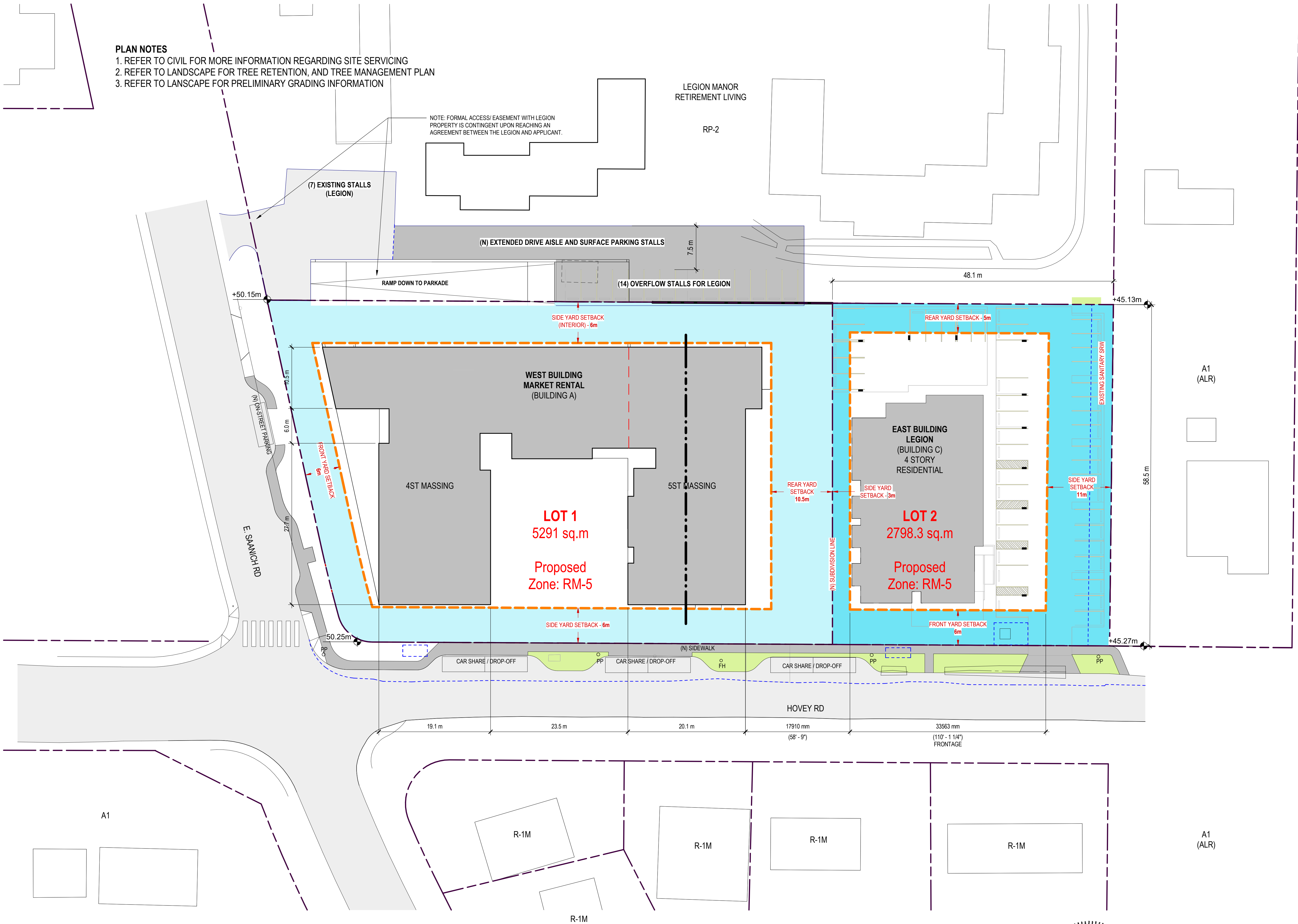
AVERAGE GRADE CALCULATION

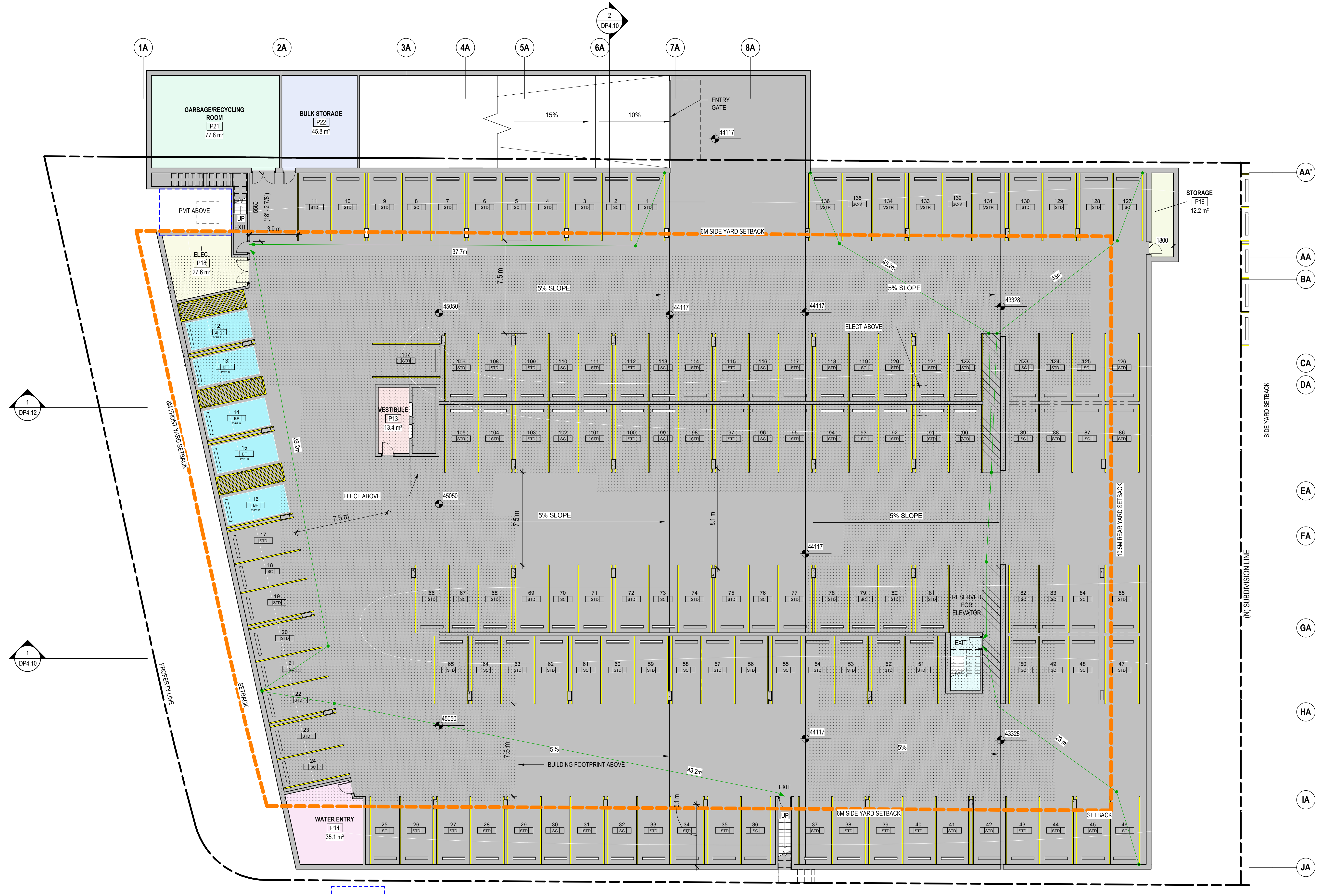
| Lot 1 - West Bldg (Market Rental) | | Lot 2 - East Bldg (Legion) | |
|-----------------------------------|---------------|----------------------------|---------------|
| Grade Points | Natural Grade | Grade Points | Natural Grade |
| AA | 49600 | CA | 46250 |
| AB | 46800 | CB | 45650 |
| AC | 39500 | CC | 46000 |
| AD | 48100 | CD | 46500 |
| AE | 47600 | | |
| AF | 48400 | | |
| AG | 48750 | | |
| AH | 49800 | | |
| AJ | 49250 | | |
| AK | 49450 | | |
| Natural Grade (Average) | | Natural Grade (Average) | 46100 |

NOTE:
"Natural Grade" means the average ground level recorded at the outermost corners of a building or proposed building as determined by survey and referenced benchmark prior to site preparation.

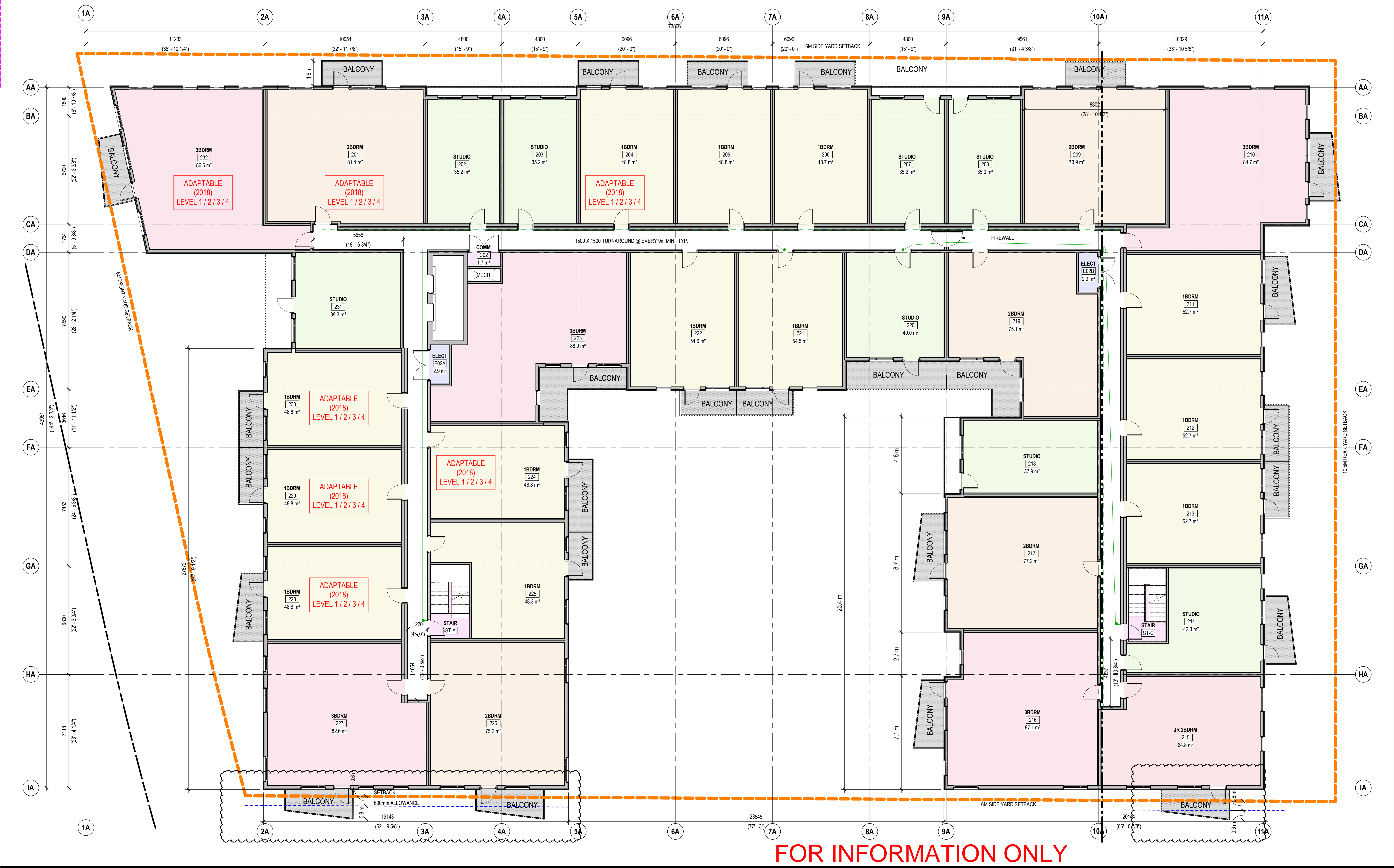


- PLAN NOTES**
- 1. REFER TO CIVIL FOR MORE INFORMATION REGARDING SITE SERVICING
 - 2. REFER TO LANDSCAPE FOR TREE RETENTION, AND TREE MANAGEMENT PLAN
 - 3. REFER TO LANDSCAPE FOR PRELIMINARY GRADING INFORMATION

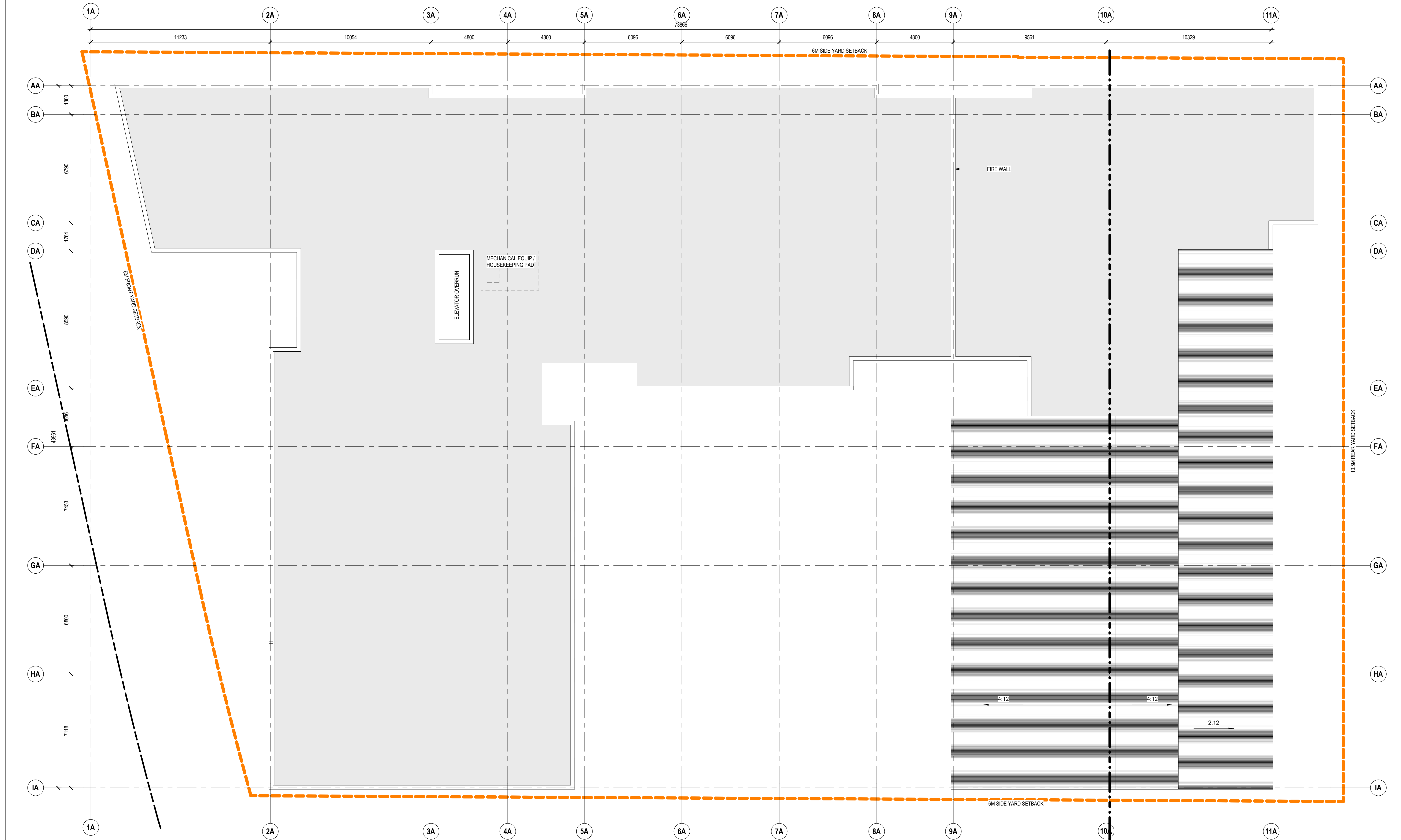


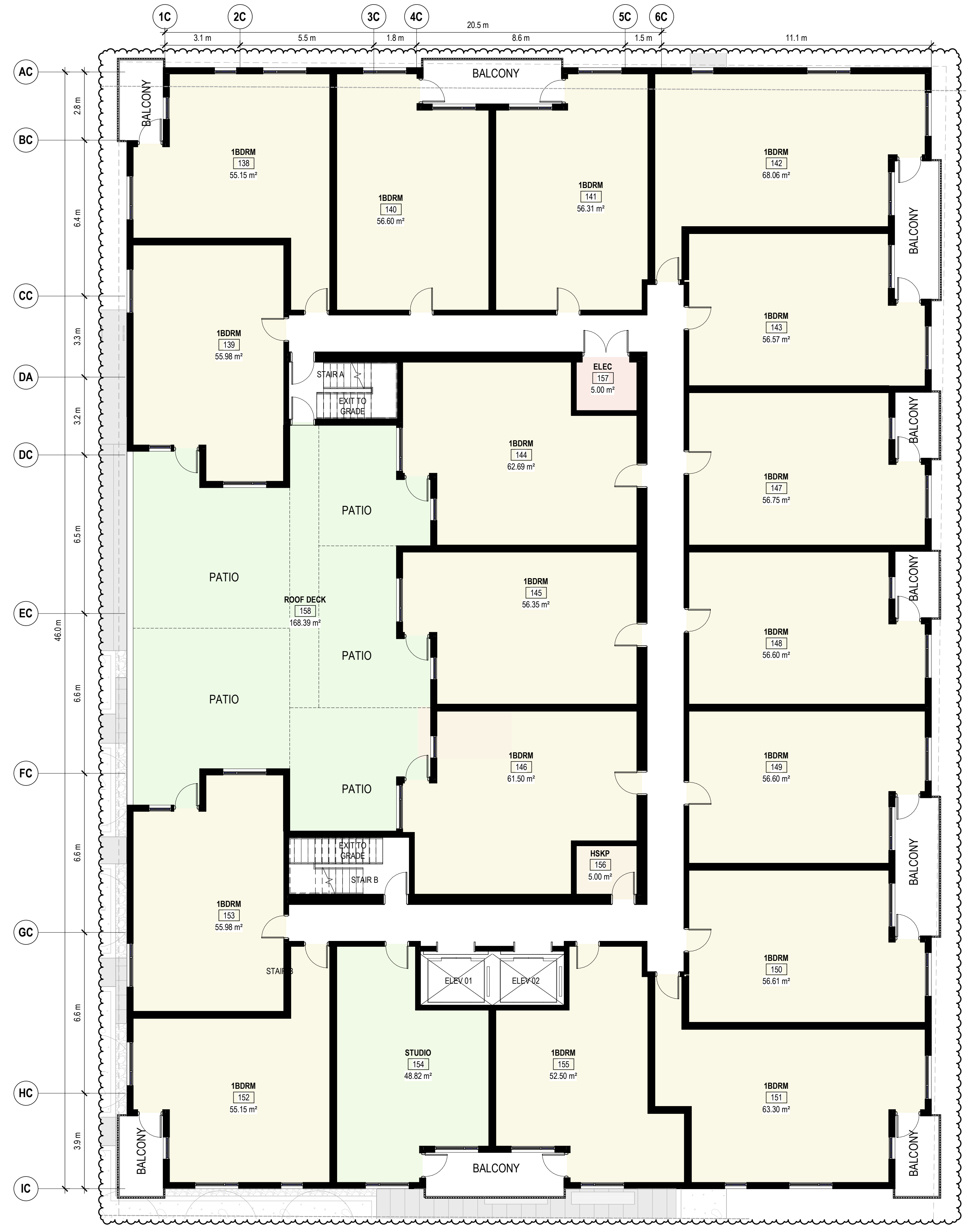
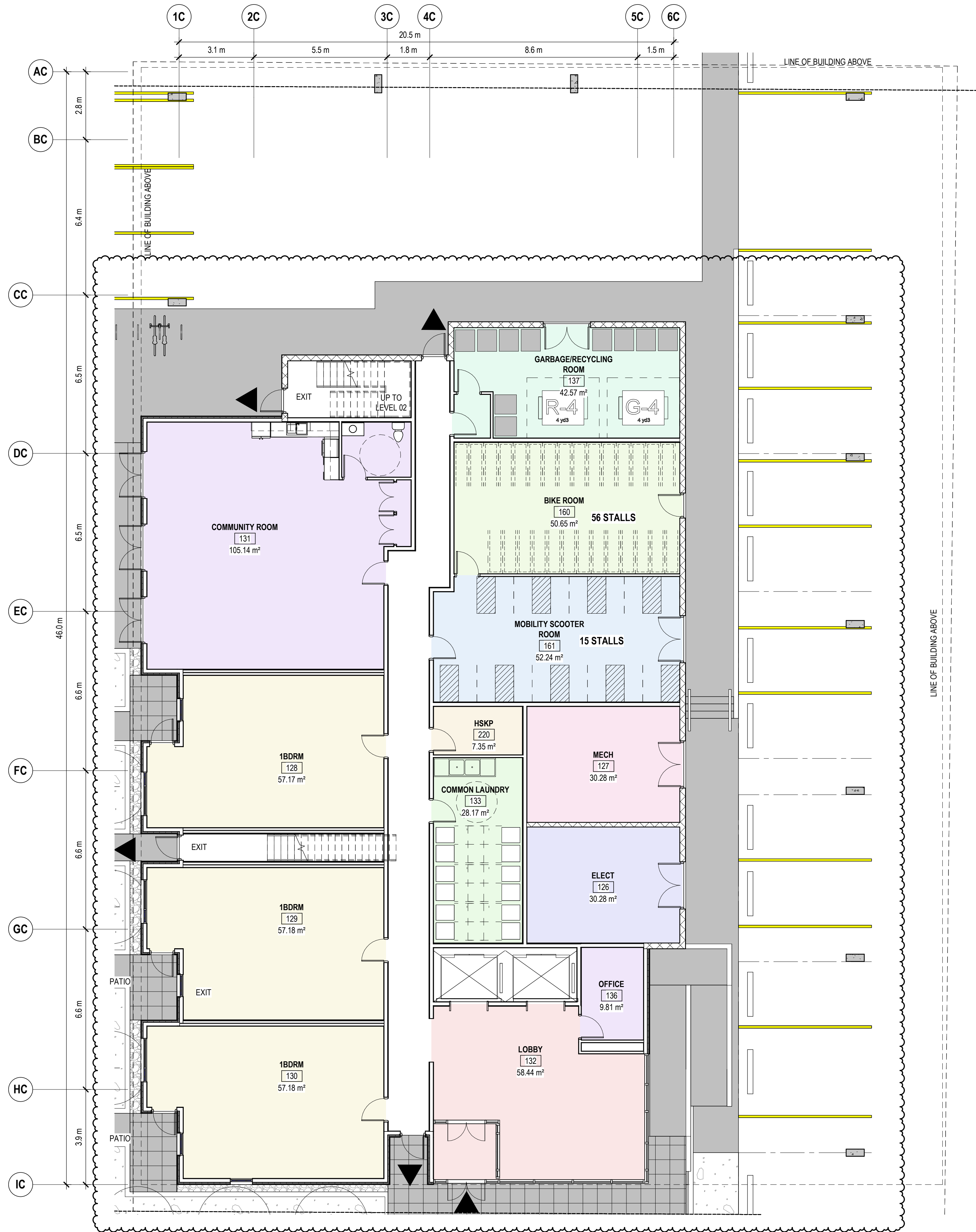










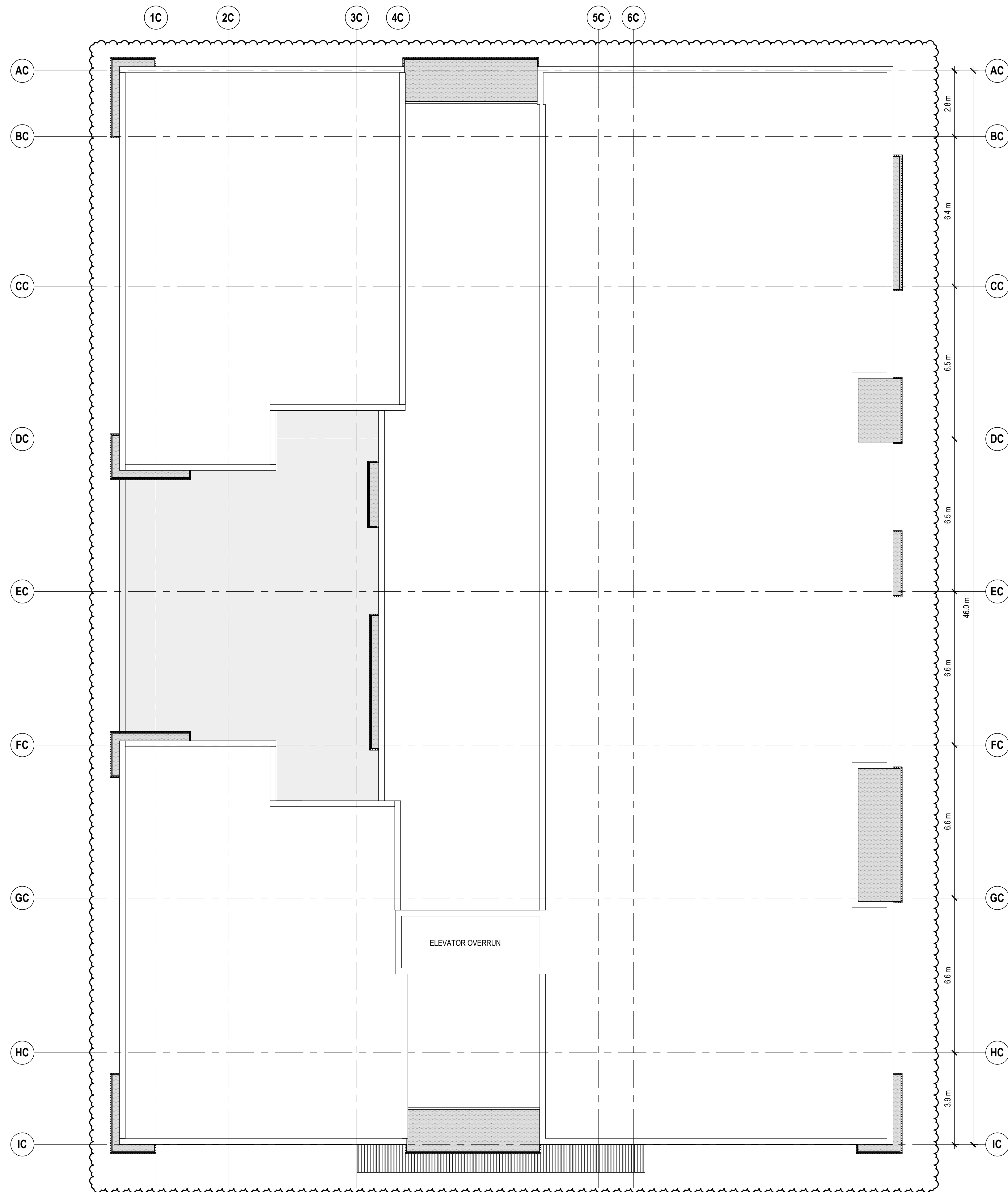




1 LEGION_LEVEL 03
DP2.08 SCALE: 1:100

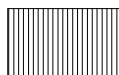








2 LEGION_LEVEL 04
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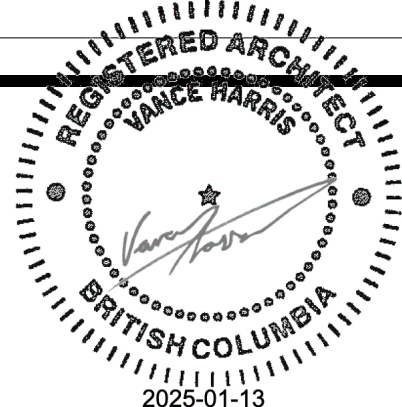


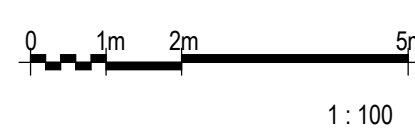
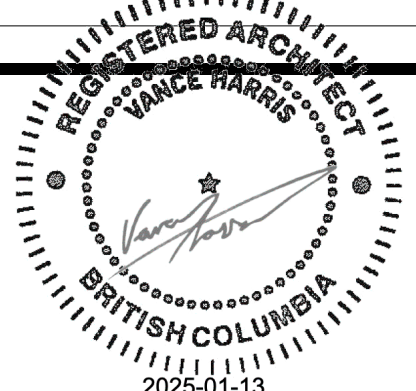
1 ROOF PLAN
DP2.10 SCALE: 1:100



| MATERIAL LEGEND | |
|--|---|
| <div>1</div>  | CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY |
| <div>2</div>  | FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| <div>3</div>  | FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| <div>4</div>  | FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS |
| <div>5</div>  | FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, V = VERTICAL, H = HORIZ JOINTS, 10'-0" LENGTHS |
| <div>6</div>  | ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES |
| <div>7</div>  | CMU - EXPOSED, BASE OF BUILDING |

| | |
|---------------|--|
| <div>8</div> | SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A |
| <div>9</div> | WINDOWS - VINYL WINDOW SYSTEM, BLACK |
| <div>10</div> | PATIO / BALCONY DOORS - FULL LITE, BLACK |
| <div>11</div> | BALCONY - VERTICAL STEEL PICKETS, PTD., ALUMINUM PANEL AT END, PTD. |
| <div>12</div> | FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES |
| <div>13</div> | FIRE RATED METAL DOOR GREY |





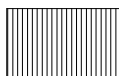


| MATERIAL LEGEND | | |
|-----------------|--|---|
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MATERIAL LEGEND

1



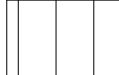
CORRUGATED METAL - NATURAL FINISH - RAINSCREEN ASSEMBLY, CORRUGATION VERTICALLY

2




FIBER CEMENT PLANKS - COLOUR 2 - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS

3




FIBER CEMENT PLANKS - WHITE - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS

4




FIBER CEMENT PLANKS - LIGHT GREY - 18in WIDE, RAINSCREEN ASSEMBLY, VERTICAL JOINTS, 10'-0" LENGTHS

5




FIBER CEMENT PLANKS - DARK OLIVE - 18in WIDE, RAINSCREEN ASSEMBLY, V = VERTICAL, H = HORIZ JOINTS, 10'-0" LENGTHS

6



ALUMINUM PANEL - LIGHT GREEN - END OF BALCONY, BALCONY DIVIDERS DOOR FRAMES

7



CMU - EXPOSED, BASE OF BUILDING

8

SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A

9

WINDOWS - VINYL WINDOW SYSTEM, BLACK

10

PATIO / BALCONY DOORS - FULL LITE, BLACK

11

BALCONY - VERTICAL STEEL PICKETS, PTD. , ALUMINUM PANEL AT END, PTD.

12

FIRE RATED METAL DOOR WITH VIEWING PANEL, COLOUR MATCH TO ALUMINUM PANEL AND DOOR FRAMES

13

FIRE RATED METAL DOOR GREY



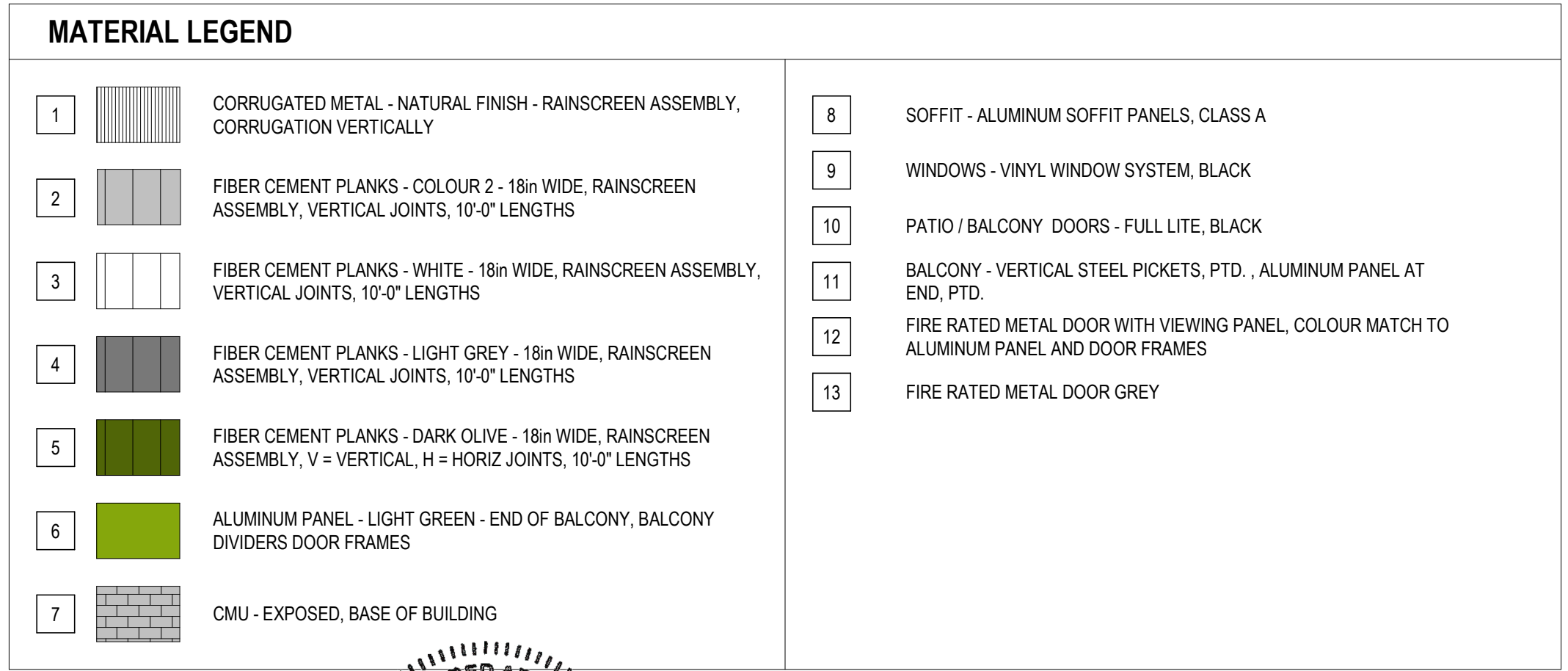


1 DP2.21 DP_BLDG A - EAST COURTYARD ELEV
SCALE: 1 : 100



2 DP4.05 DP_BLDG A - WEST COURTYARD ELEV
SCALE: 1 : 100

| MATERIAL LEGEND | | |
|-----------------|--|---|
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MATERIAL LEGEND

| | | | |
|---|---|----|--|
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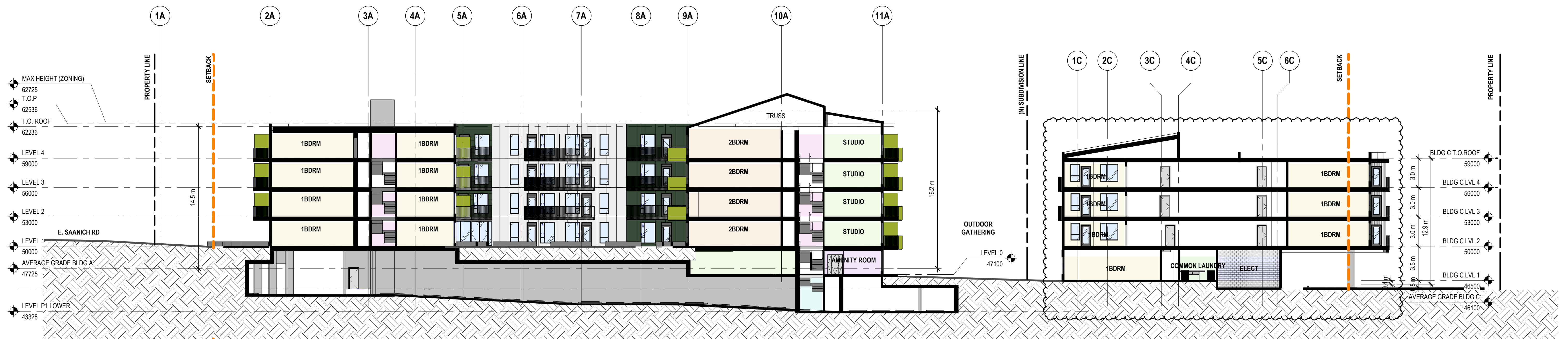




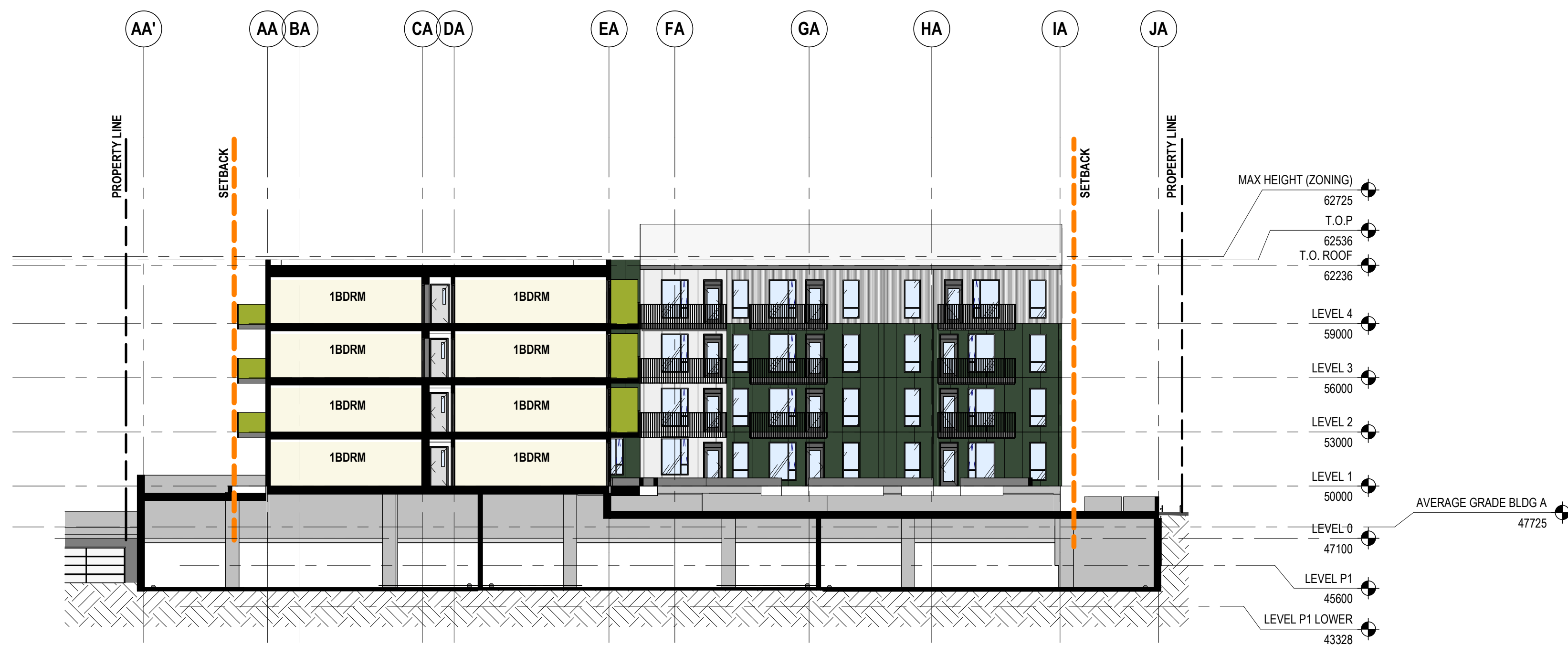
MATERIAL LEGEND

| | | | |
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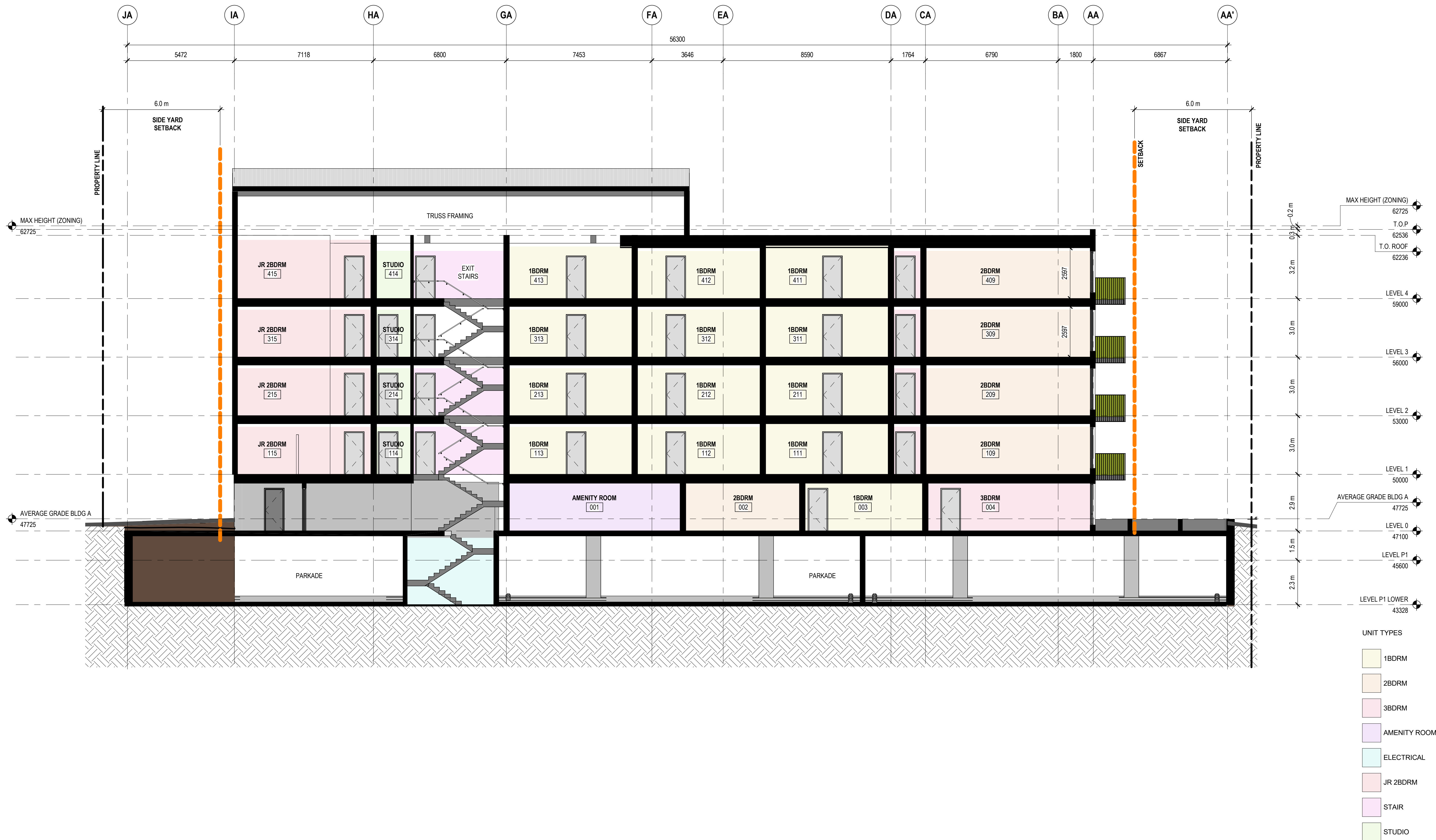


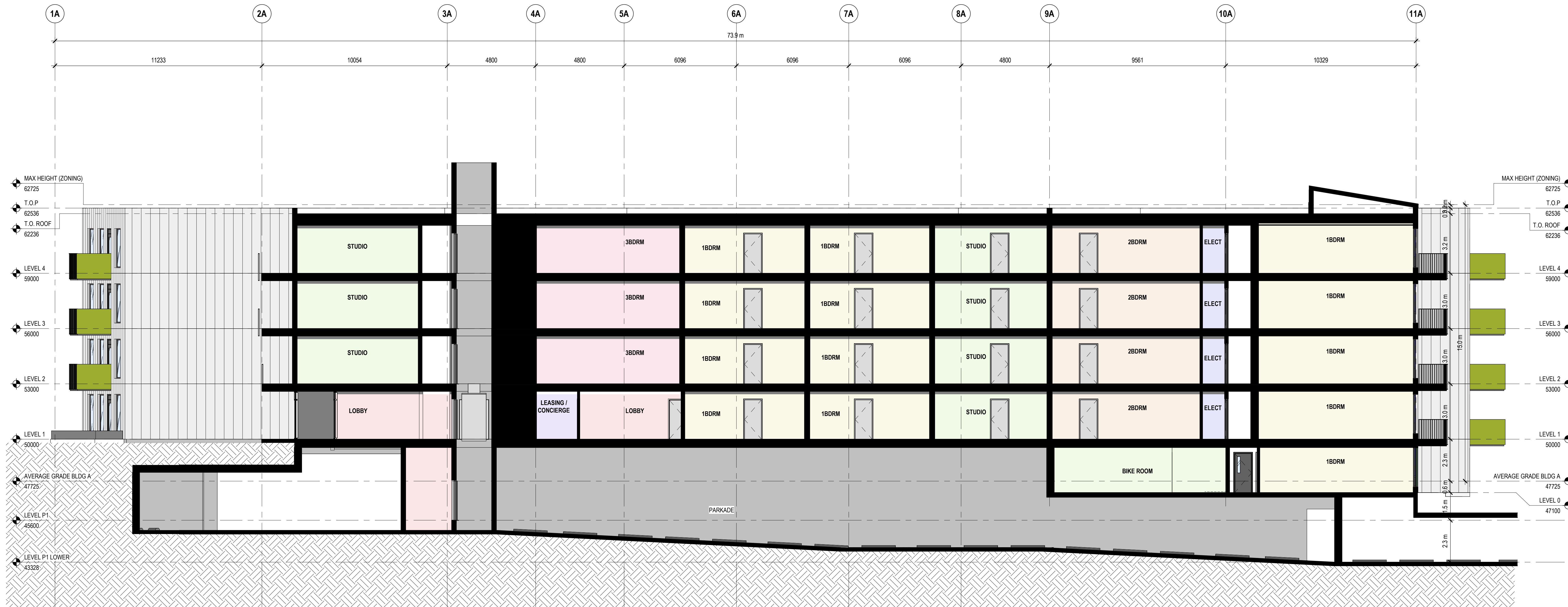


1 WEST - EAST SITE SECTION
DP4.10 SCALE: 1:200



2 NORTH - SOUTH SITE SECTION - COUTYARD
DP4.10 SCALE: 1:200

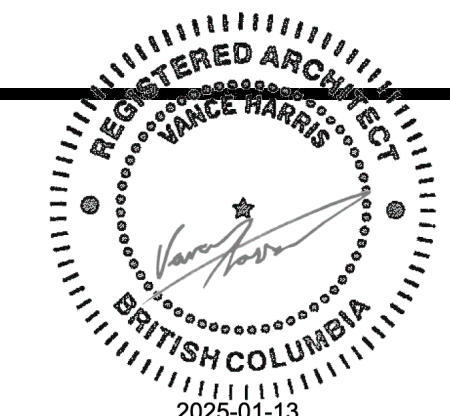


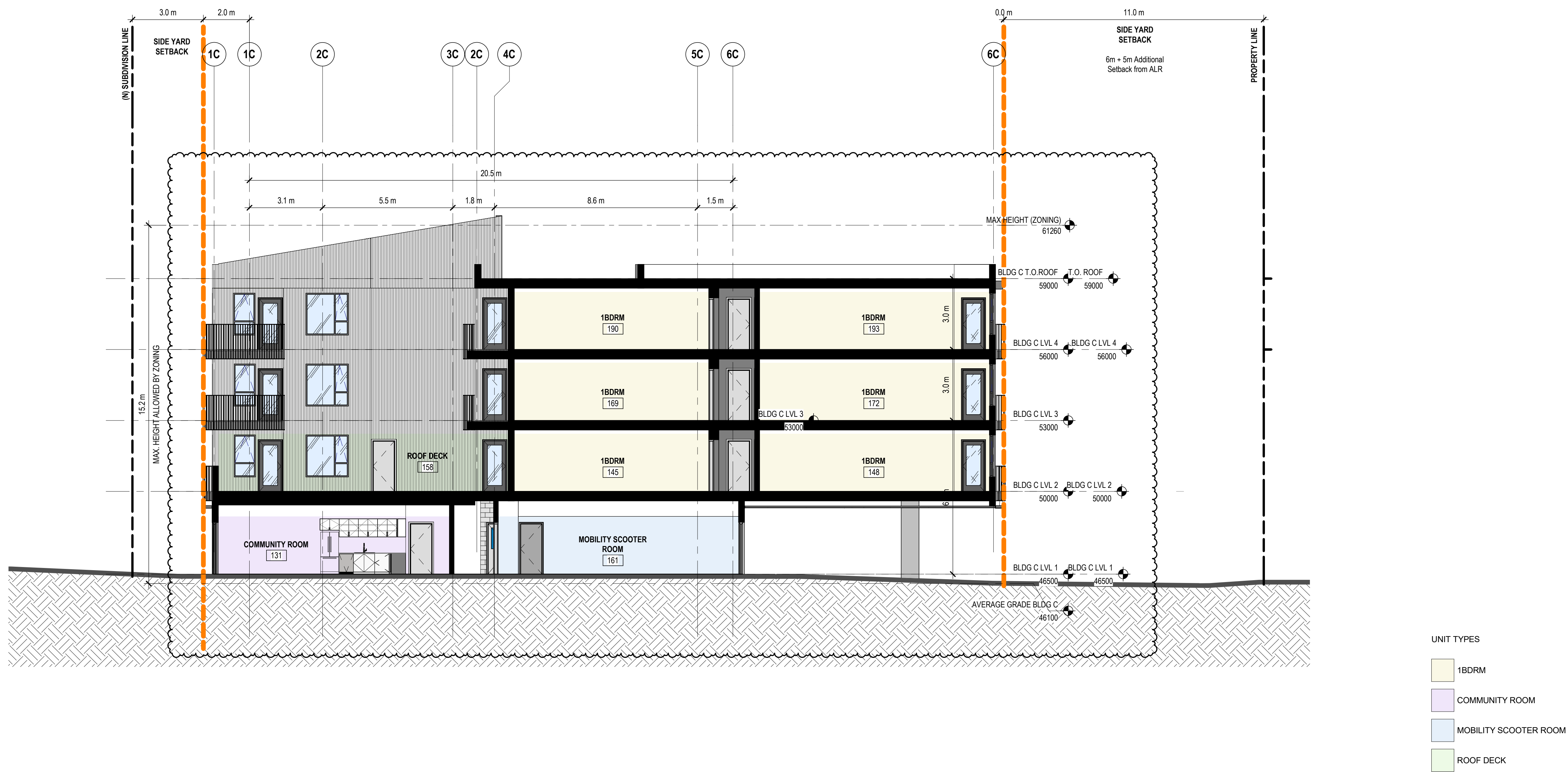




UNIT TYPES

- 1BDRM
- COMMUNITY ROOM
- ROOF DECK





1934 HOVEY ROAD

7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD.
SAANICH, BC, V8M 1V8

LANDSCAPE ARCHITECTURE

RE-ISSUE FOR REZONING / DEVELOPMENT PERMIT

JANUARY 13, 2025



DRAWING LIST - LANDSCAPE

| | |
|------|------------------------------|
| L0.0 | COVER SHEET |
| L0.1 | TREE MANAGEMENT PLAN |
| L1.0 | RENDERED LANDSCAPE PLAN |
| L1.1 | CONCEPT LIGHTING PLAN |
| L1.2 | GRADING PLAN |
| L1.3 | PLANTING PLAN |
| L1.4 | DESIGN/BUILD IRRIGATION PLAN |
| L1.5 | LANDSCAPE PLAN B&W |
| L2.0 | CONCEPT SITE SECTIONS |
| L3.0 | CONCEPT IMAGE BOARD |
| L3.1 | SITE DETAILS |

ISSUED FOR

| | | |
|---|------------|--|
| 1 | 11-06-2023 | Issue for Rezoning / Development Permit |
| 2 | 16-05-2024 | Issue for Rezoning / Development Permit |
| 3 | 11-12-2024 | Issue for Rezoning / Development Permit |
| 4 | 13-01-2025 | Issued for Rezoning / Development Permit |

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R.C.
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Victoria BC V8W 2G4

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MECHANICAL ENGINEER

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ELECTRICAL ENGINEER

E2 ENGINEERING INC.
530 HERALD STREET,
VICTORIA, BC V8W 1S6

Tel: Fax:

KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd.
Saanich, BC, V8M 1V8

COVER SHEET

DRAWN: KM/SSJG CHECKED: MM/JR
PLOT DATE: 11/13/2025 2:48:39 PM

L0.0

ISSUED FOR

| | | |
|---|------------|--|
| 1 | 11-06-2023 | Issue for Rezoning / Development Permit |
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ELECTRICAL ENGINEER
E2 ENGINEERING INC.
530 HERALD STREET,
VICTORIA, BC V8W 1S6
Tel: Fax:

KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd.
Saanich, BC, V8M 1V8

TREE MANAGEMENT
PLAN

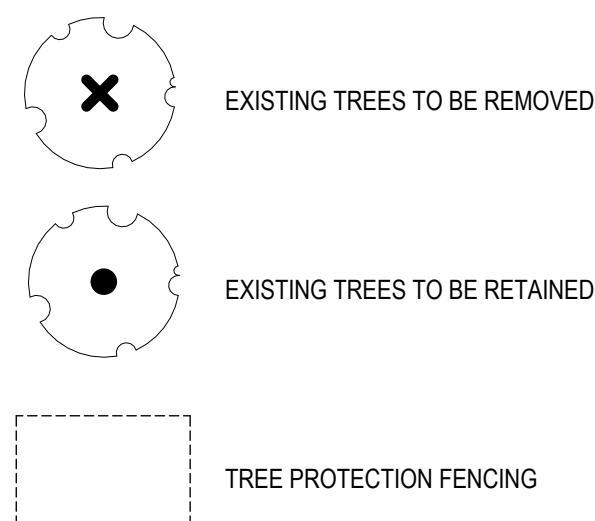
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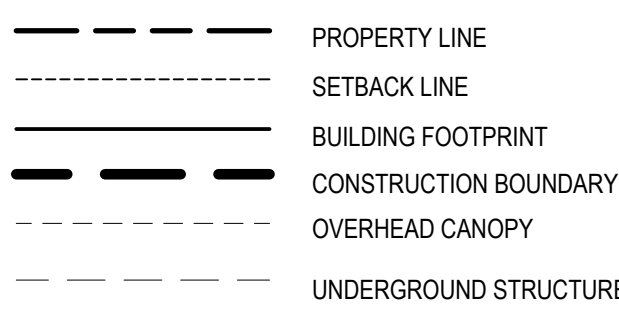
BC100351 - 2007374

Autodesk Docs\BC100351 Hovey Road\DLG_2007374_LA_HoveyRd.rvt

LEGEND



SITE SYMBOL LEGEND



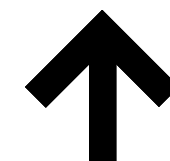
1 TREE MANAGEMENT PLAN
SCALE: 1: 200

TREE PROTECTION NOTES

1. Tree protection fencing must be built to standards shown here, or as listed in the Arborist Report. The dimensions shown are from the outer edge of the stem of the tree.
2. Tree protection zone shown is a graphic representation of the critical root zone, measured from the outer edge of the stem of the tree (1/2 the trees diameter was added to the graphical tree protection circles to accommodate the survey point being the center of the tree). Measurements as per the Arborist Report.
3. Any construction activities or grade changes within or adjacent to the root protection zone must be approved by the project Arborist.

NOTE: TREE RETENTION LOCATIONS AND FENCING SHOWN IS CONCEPTUAL ONLY, AND WILL BE REFINED FURTHER THROUGH THE DESIGN DEVELOPMENT STAGE. ANTICIPATED CHANGES TO THE STREETSAPES IN CONSULTATION WITH CITY PLANNING AND ENGINEERING DEPARTMENTS MAY ALSO FURTHER IMPACT NUMBER OF RETAINED TREES. TREE RETENTION FENCING AND METHODOLOGY TO BE DETERMINED BY ARBORIST

0m 4m 8m 12m 16m 20m
SCALE 1:200



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VICTORIA, BC V8W 1S6
Tel: Fax:

KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd.
Saanich, BC, V8M 1V8

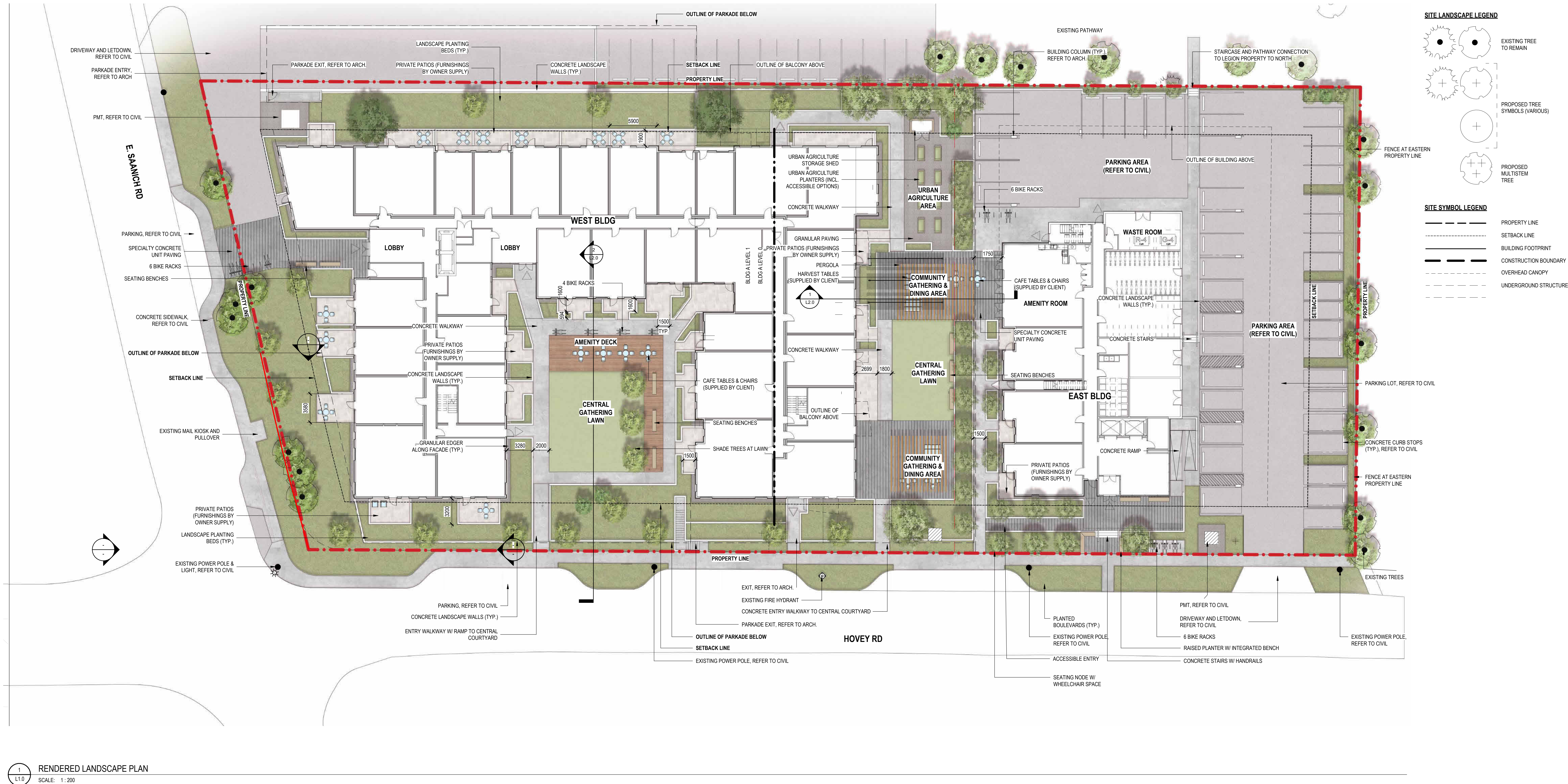
RENDERED
LANDSCAPE PLAN

DRAWN: Author CHECKED: Checker
PLOT DATE: 11/13/2025 2:48:43 PM

L1.0

BC100351 - 2007374

Autodesk Docs/IBC100351 Hovey Road/DLG_2007374_LA_HoveyRd.rvt



1 RENDERED LANDSCAPE PLAN
L1.0 SCALE: 1:200

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KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd.
Saanich, BC, V8M 1V8

CONCEPT LIGHTING
PLAN

DRAWN: KS/KM/SS/JG CHECKED: MM/JR
PLOT DATE: 11/13/2025 2:48:46 PM

L1.1

BC100351 - 2007374

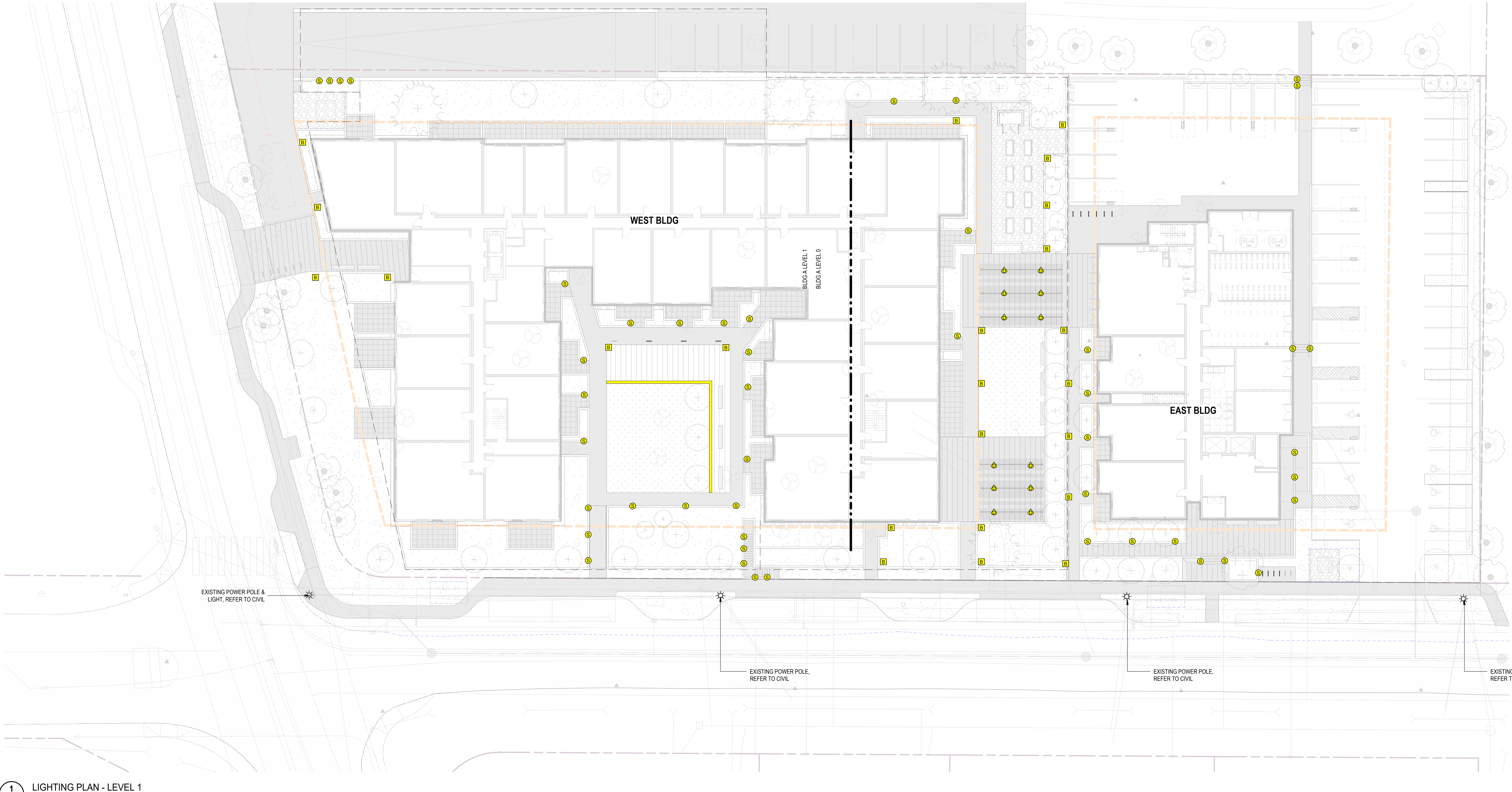
Autodesk Docs:\BC100351 Hovey Road\DLG_2007374_LA_HoveyRd.rvt

LIGHTING LEGEND

- S STEP WALL LIGHT
- B BOLLARD LIGHT
- A DOWN LIGHT
- LINEAR LED LIGHT STRIP
- STREET LIGHTS (REFER TO CIVIL)

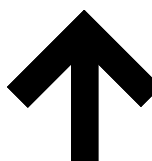
NOTE:

Refer to Architecture for all building lighting. Refer to Civil for all roadway lighting and lighting at parking lot. This plan to be read as a concept lighting plan only; refer to Electrical for Lighting Plan. See Landscape Architectural details/images for information on integrating lighting into Landscape feature elements.



1 LIGHTING PLAN - LEVEL 1
L1.1 SCALE: 1 : 200

0m 4m 8m 12m 16m 20m
SCALE 1:200



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KEYPLAN

SEAL

1934 HOVEY ROAD

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Saanich, BC, V8M 1V8

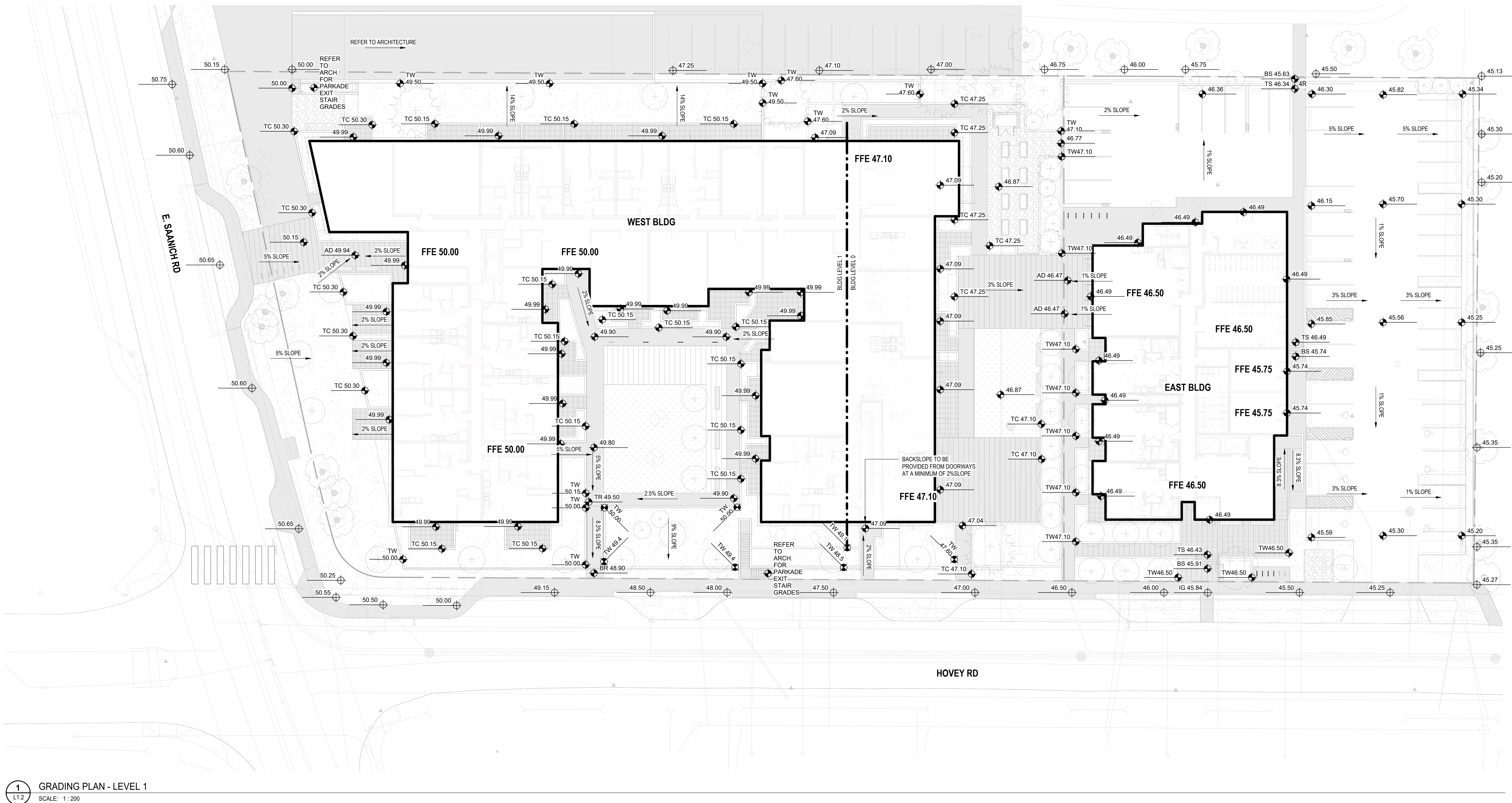
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L1.2

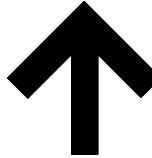
BC100351 - 2007374

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1 GRADING PLAN - LEVEL 1
L1.2 SCALE: 1:200

0m 4m 8m 12m 16m 20m
SCALE 1:200



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SEAL

1934 HOVEY ROAD

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Saanich, BC, V8M 1V8

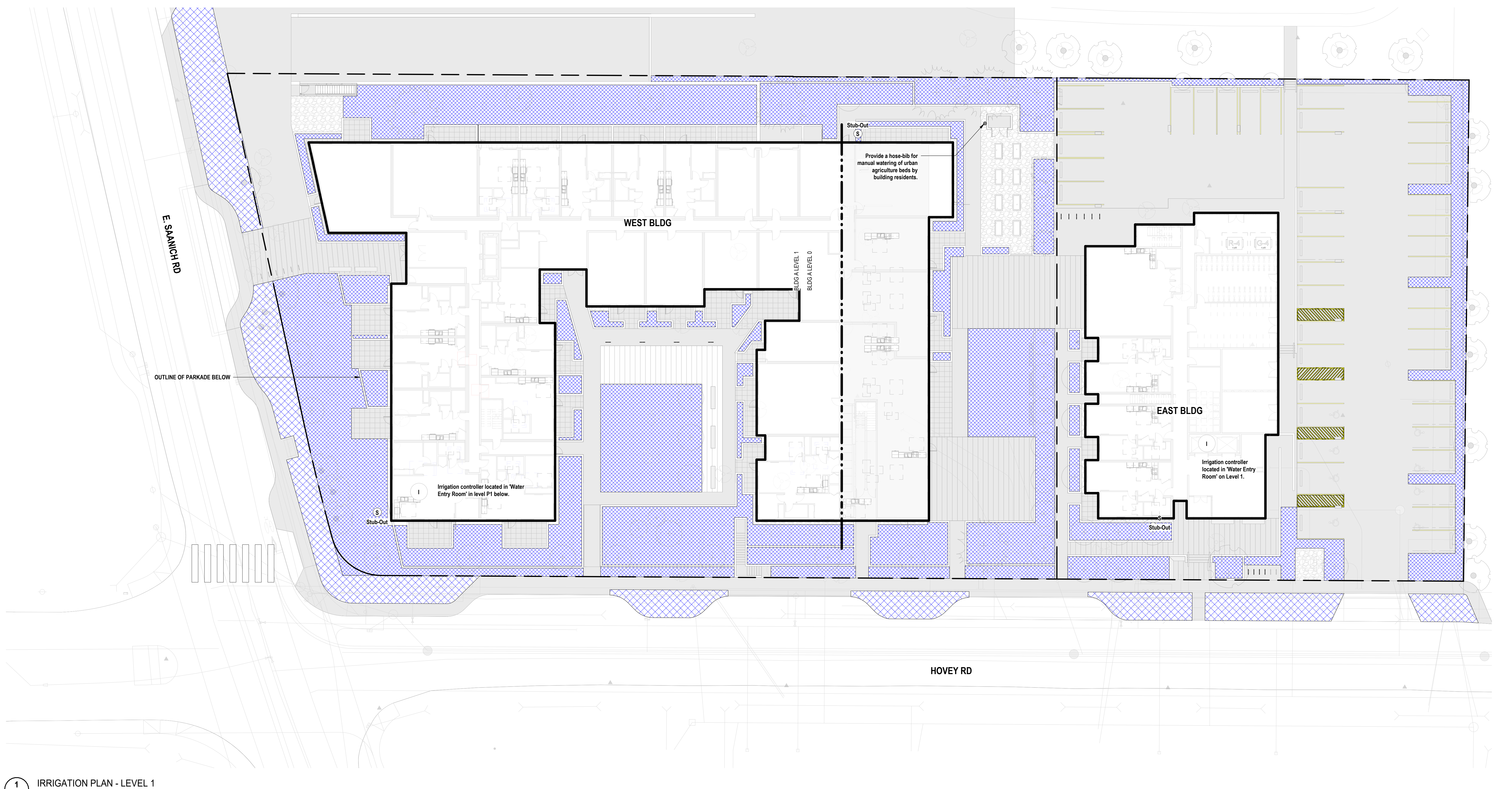
DESIGN/BUILD
IRRIGATION PLAN

DRAWN: KM/SS/JG CHECKED: MM/JR
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L1.4

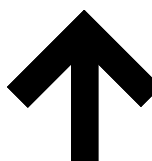
BC100351 - 2007374

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1 IRRIGATION PLAN - LEVEL 1
L1.4 SCALE: 1:200

0m 4m 8m 12m 16m 20m
SCALE 1:200



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SEAL

1934 HOVEY ROAD

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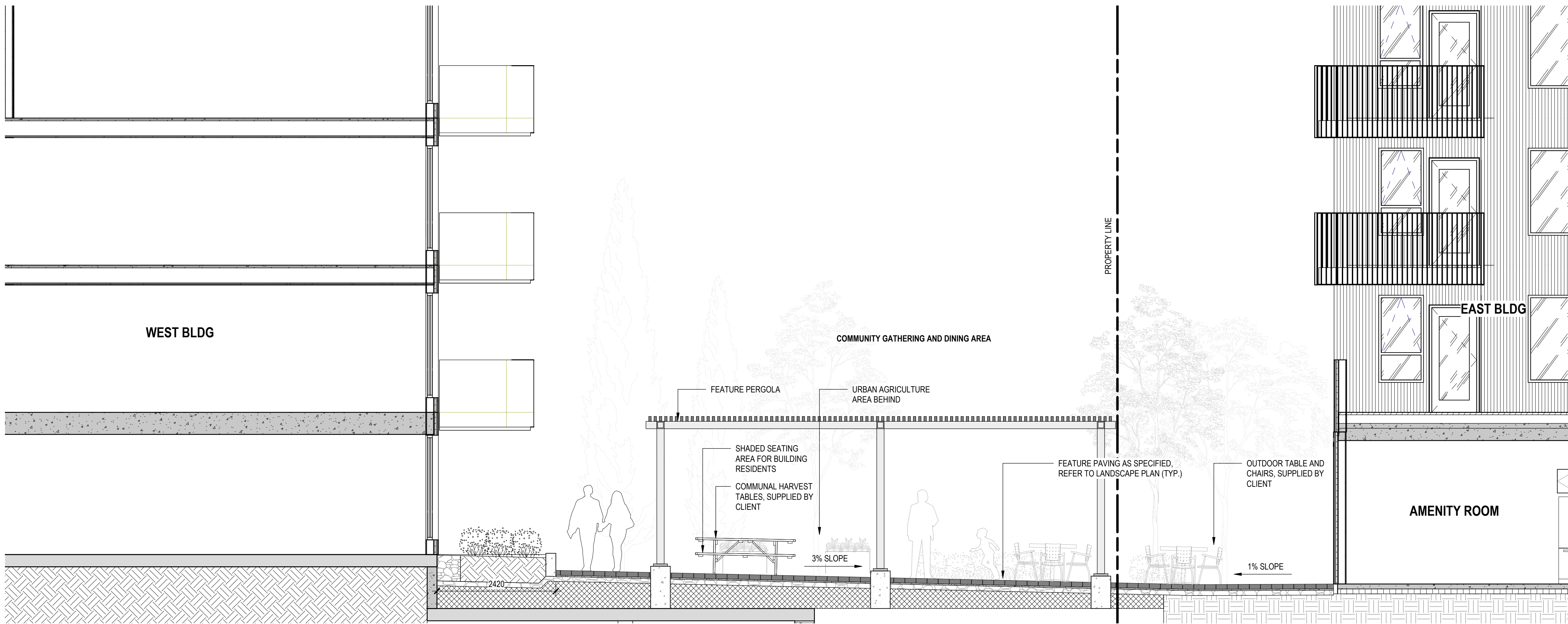
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SECTIONS

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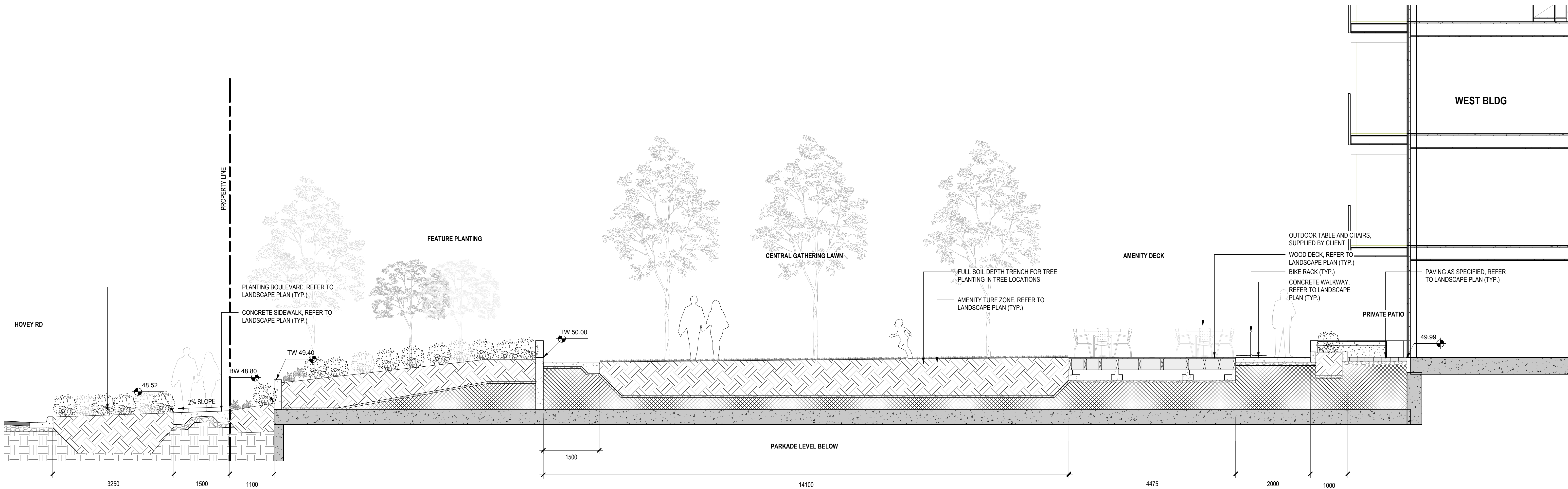
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BC100351 - 2007374

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1 COMMUNITY GATHERING AND DINING AREA
SCALE: 1 : 50



2 GATHERING AND DECK SPACE
SCALE: 1 : 50

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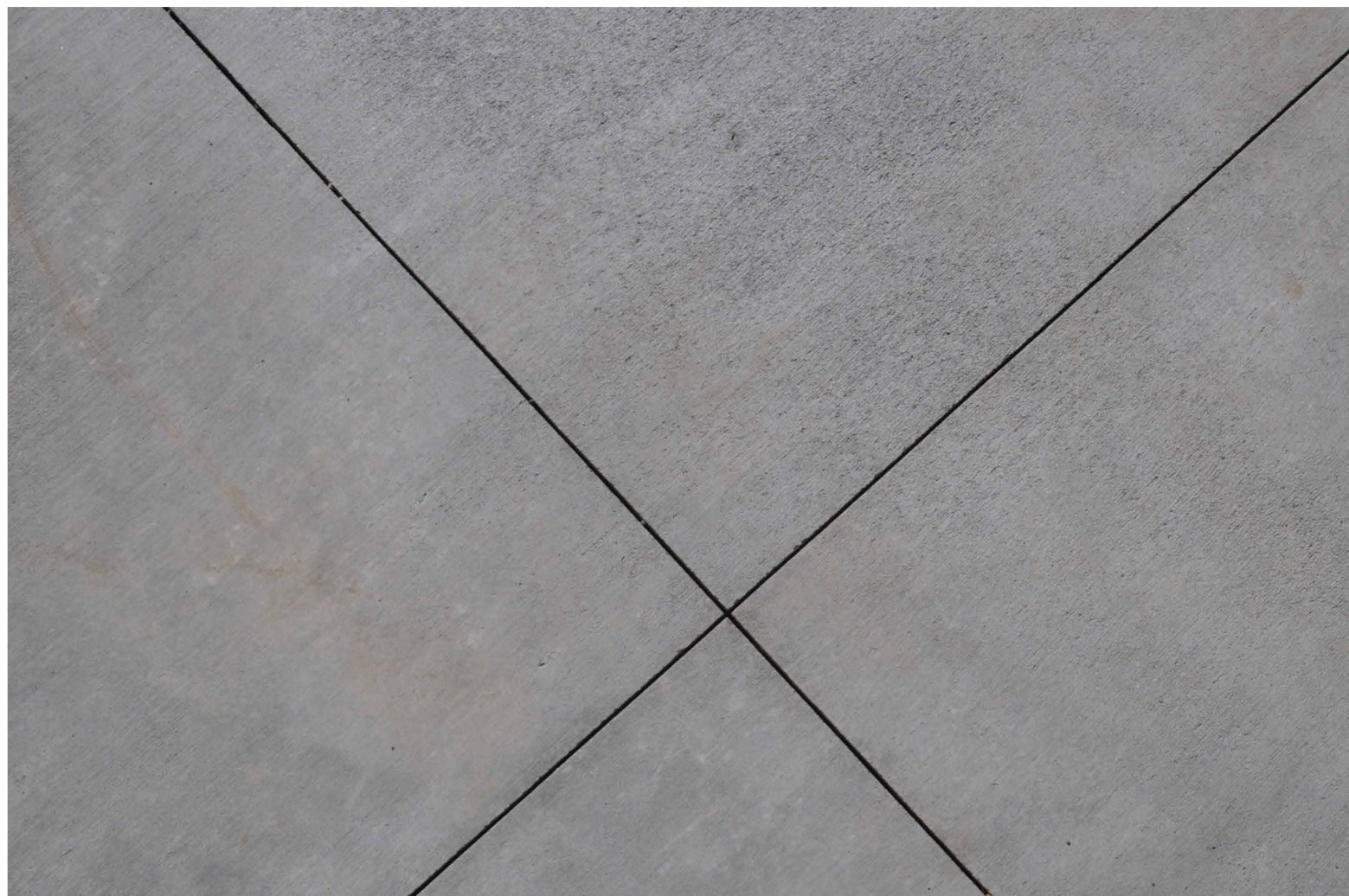
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CONCEPT IMAGE BOARD

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PLOT DATE: 11/13/2025 2:49:10 PM

L3.0



1
L3.0 SAWCUT CONCRETE



2
L3.0 WOOD DECKING



3
L3.0 CAFE TABLES & CHAIRS



4
L3.0 STEEL AND WOOD BENCHES



5
L3.0 WASTE/RECYCLING RECEPTACLE



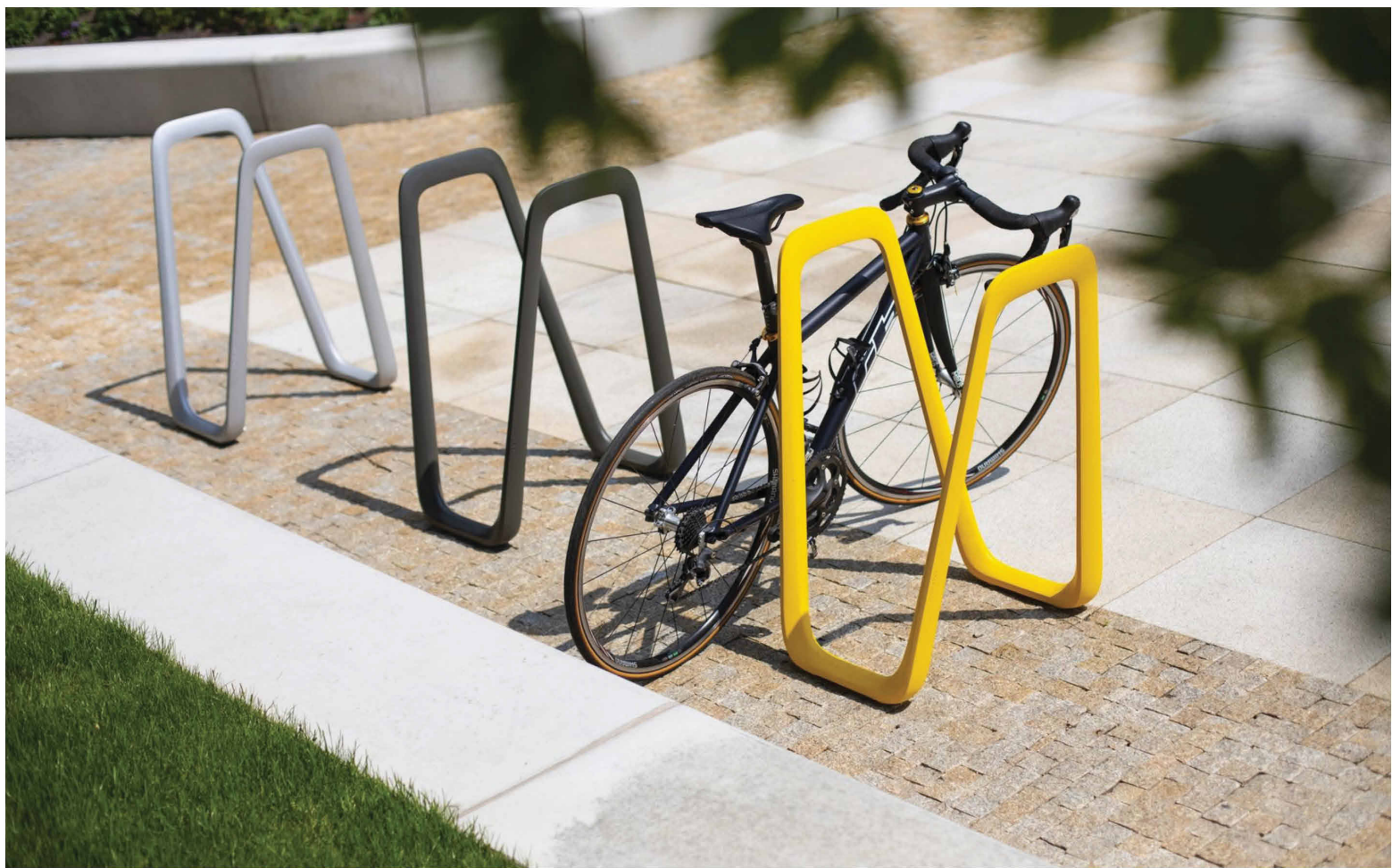
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L3.0 RAISED URBAN AGRICULTURE BEDS



7
L3.0 ACCESSIBLE URBAN AGRICULTURE TABLES



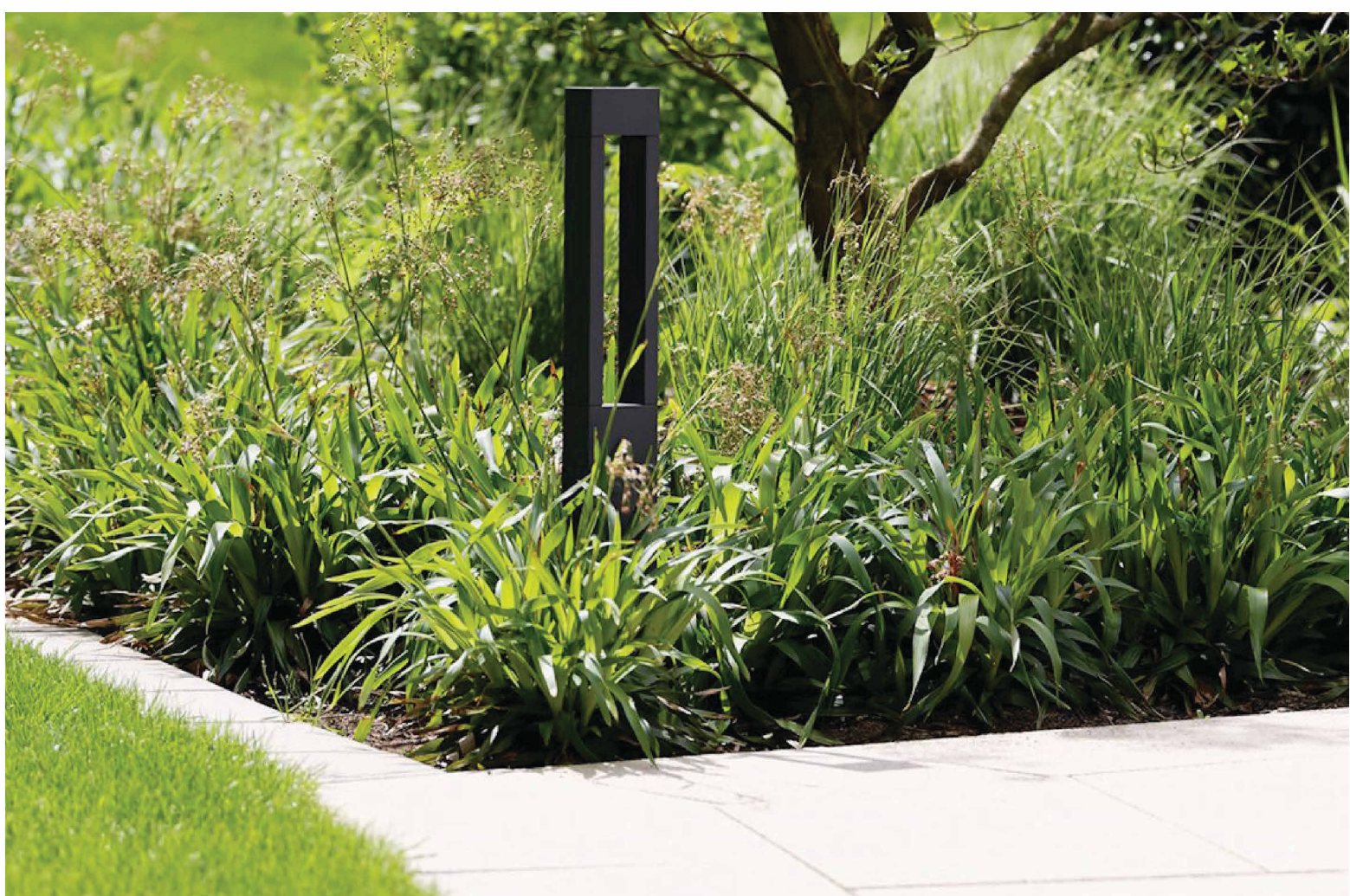
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L3.0 HARVEST TABLE SEATING OPTIONS



9
L3.0 BIKE RACKS



10
L3.0 OUTDOOR BBQ & FOOD PREPARATION



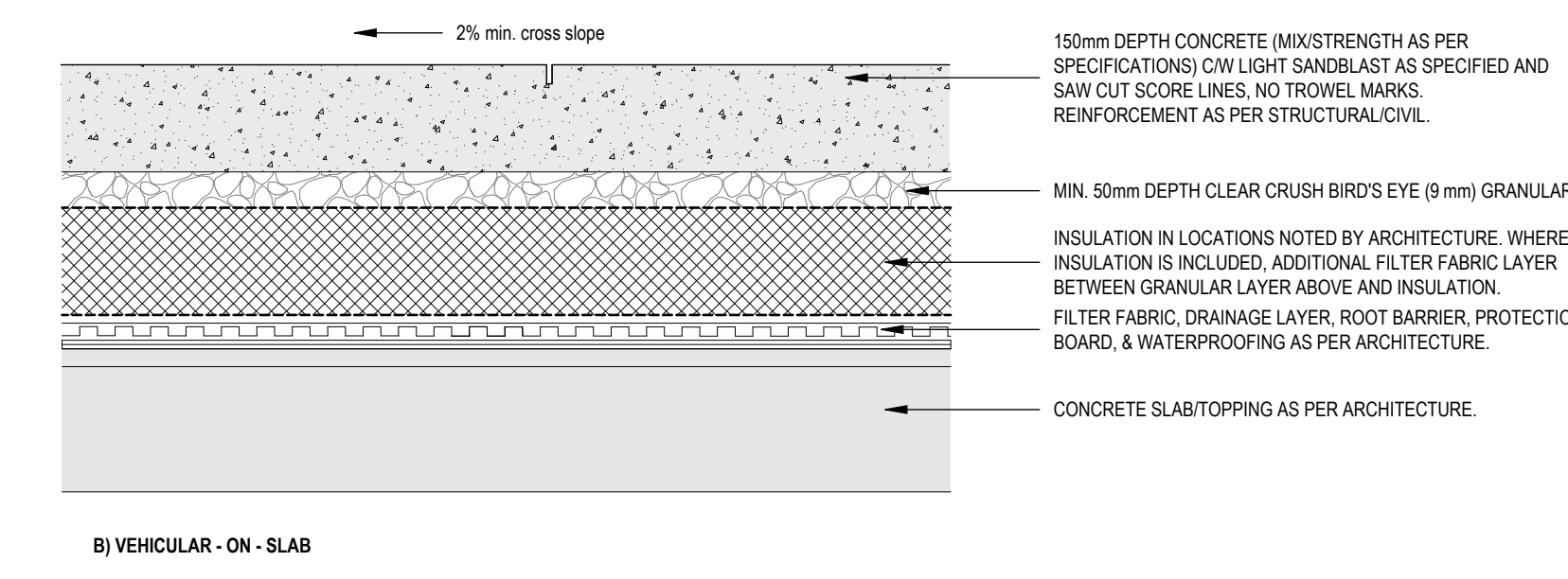
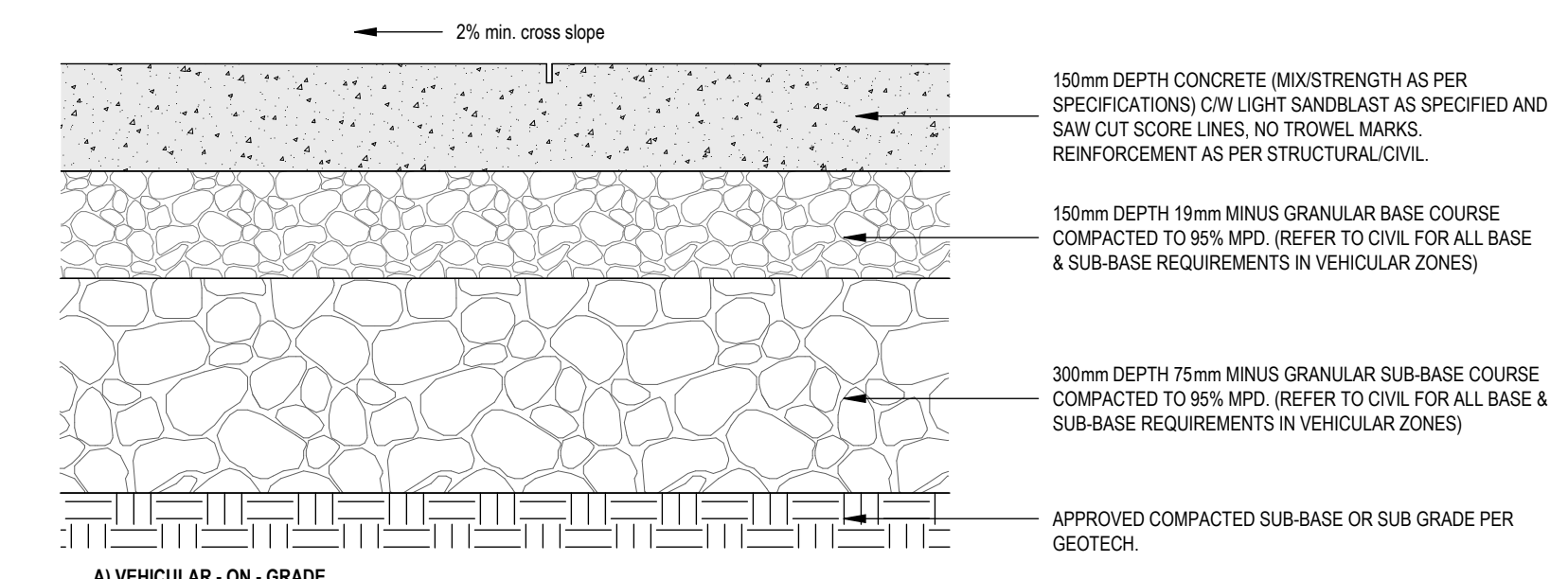
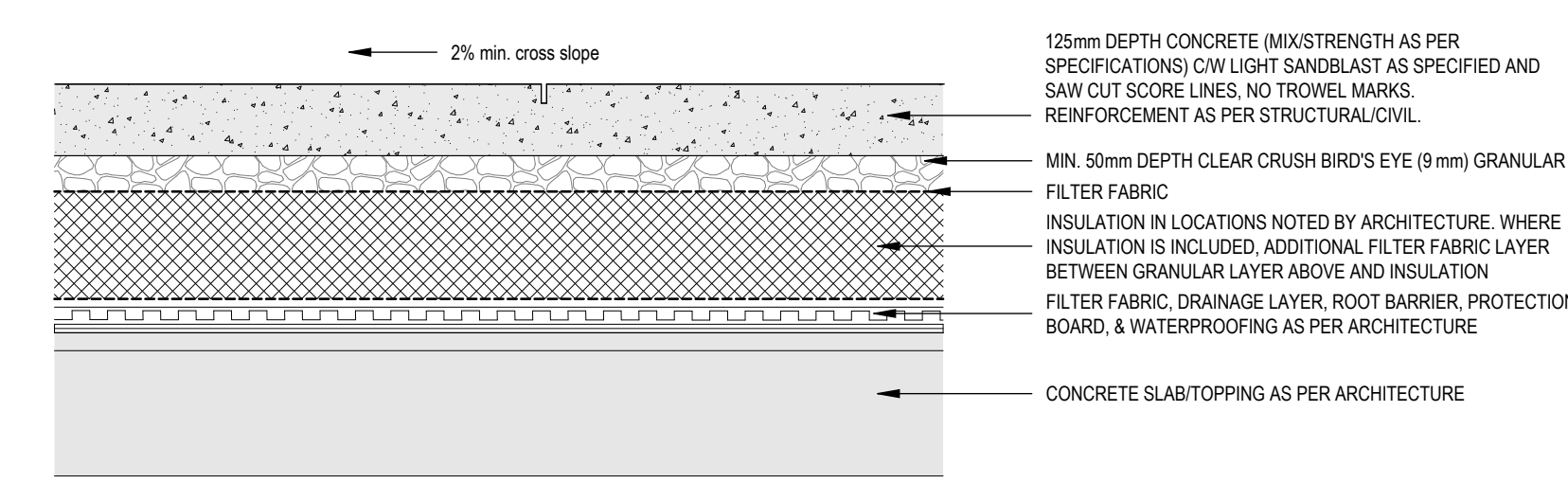
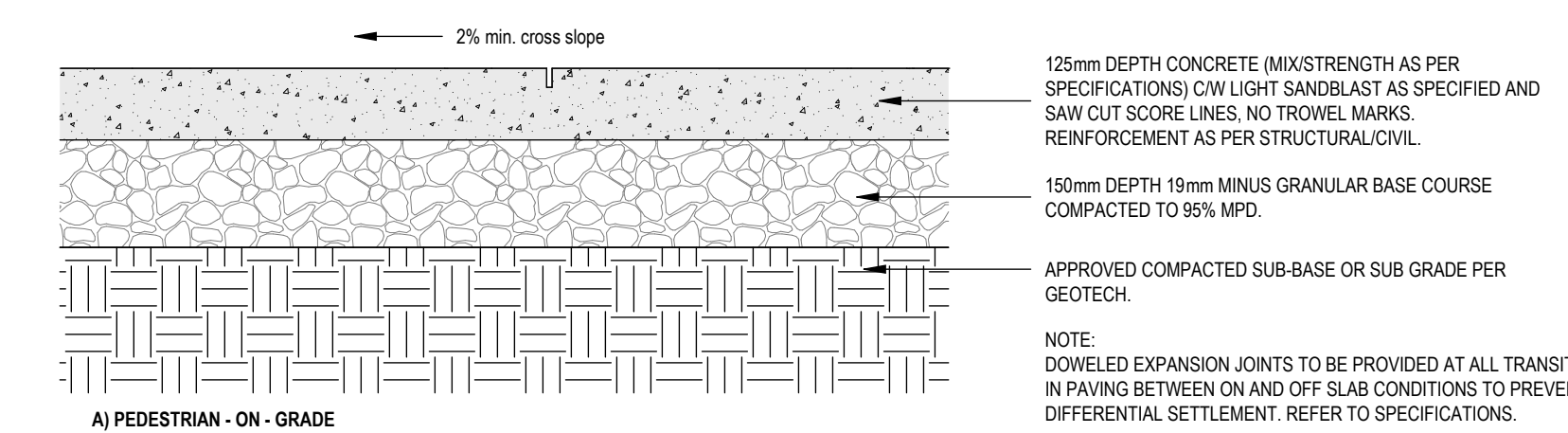
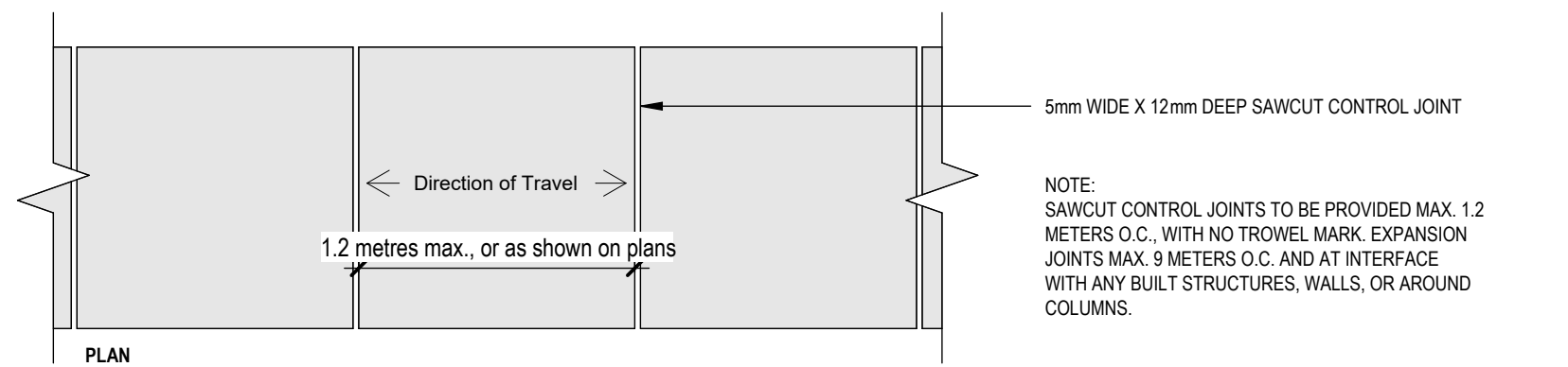
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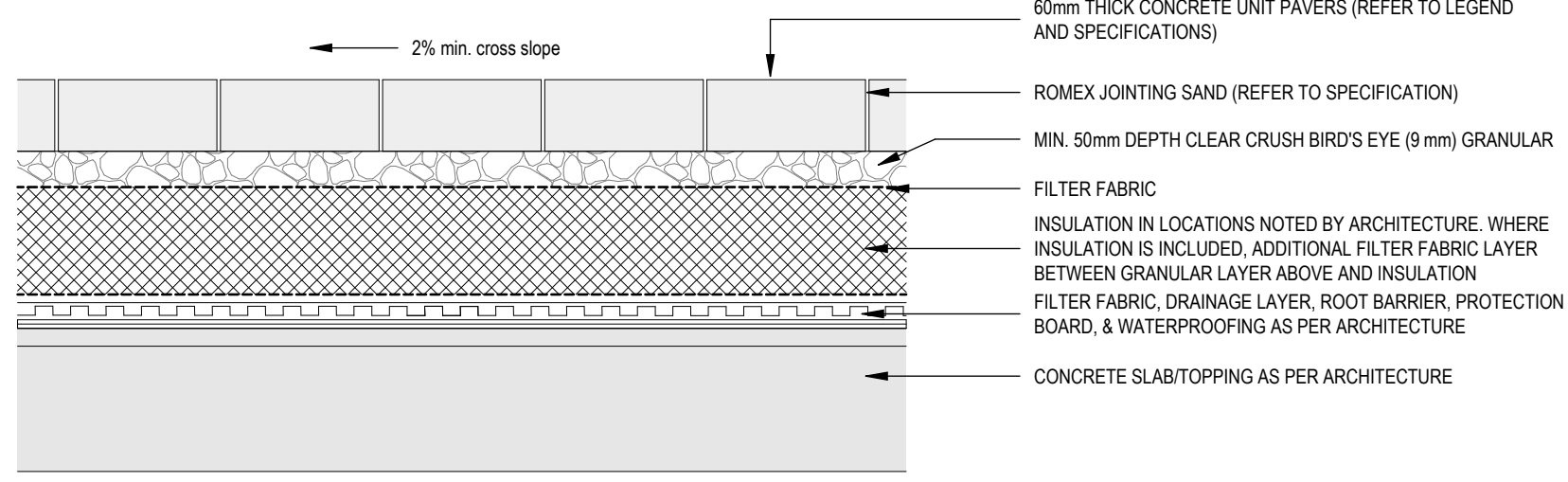
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L3.0 PERGOLA

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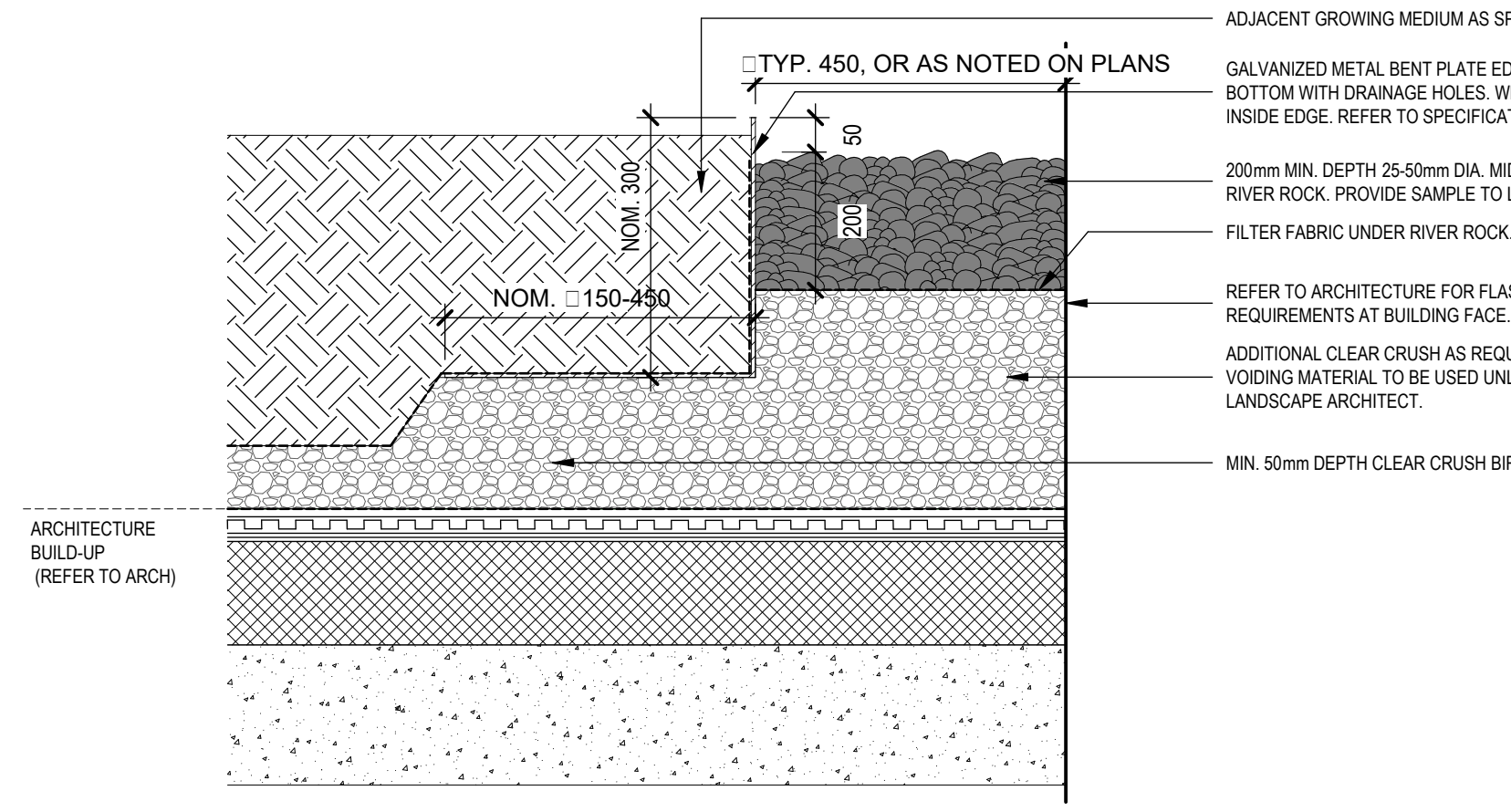
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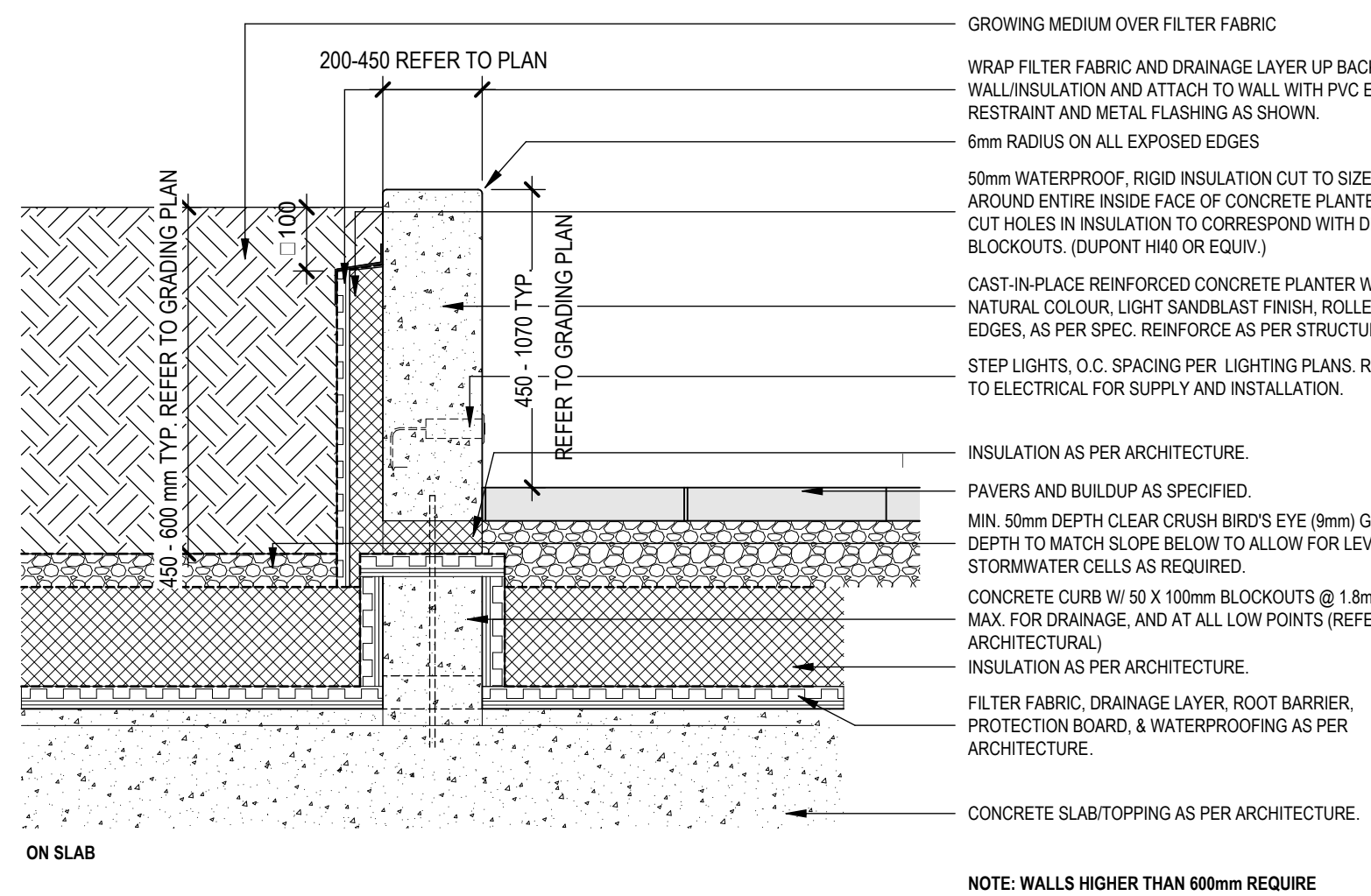
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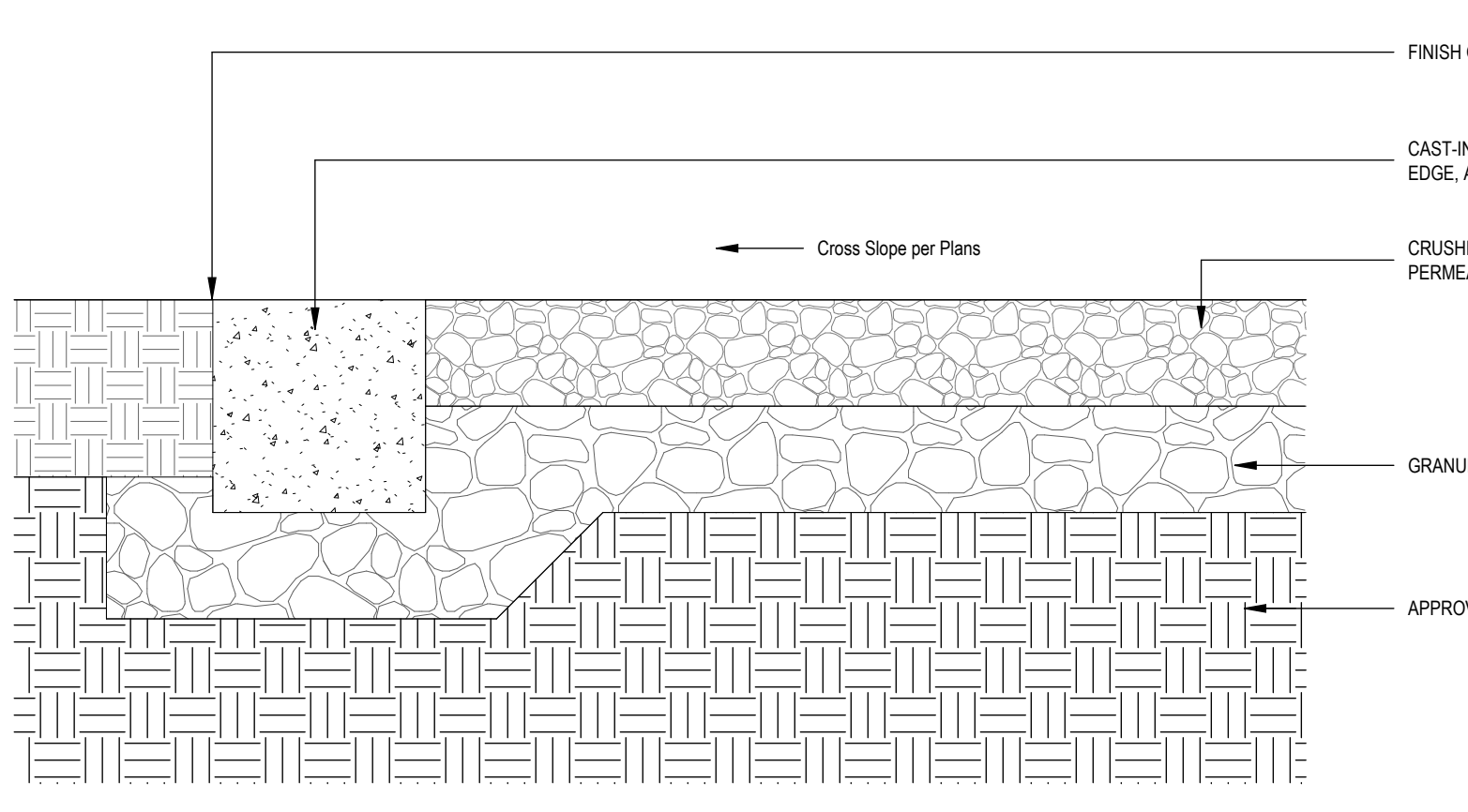
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L3.1
PAVERS ON SLAB
SCALE: 1 : 10



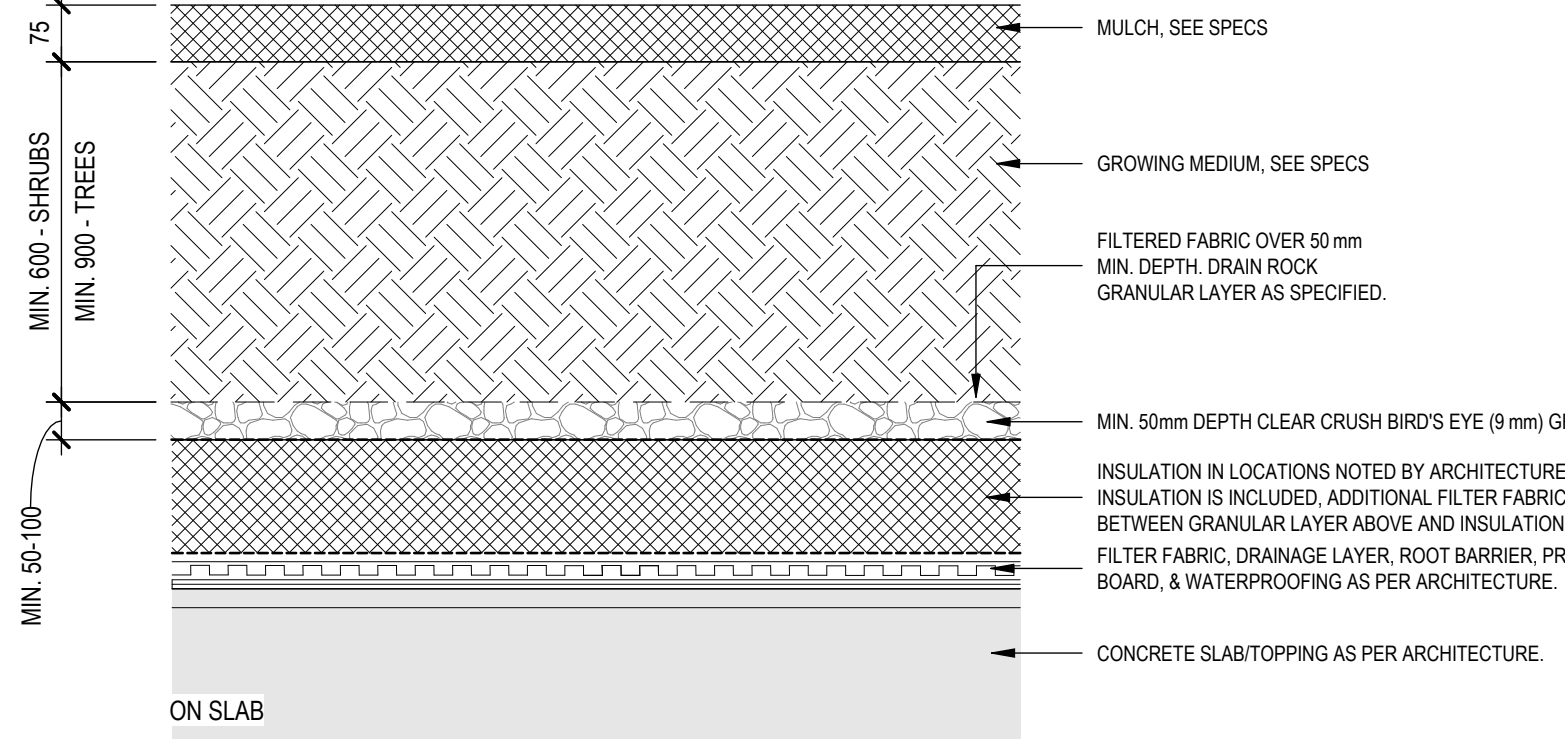
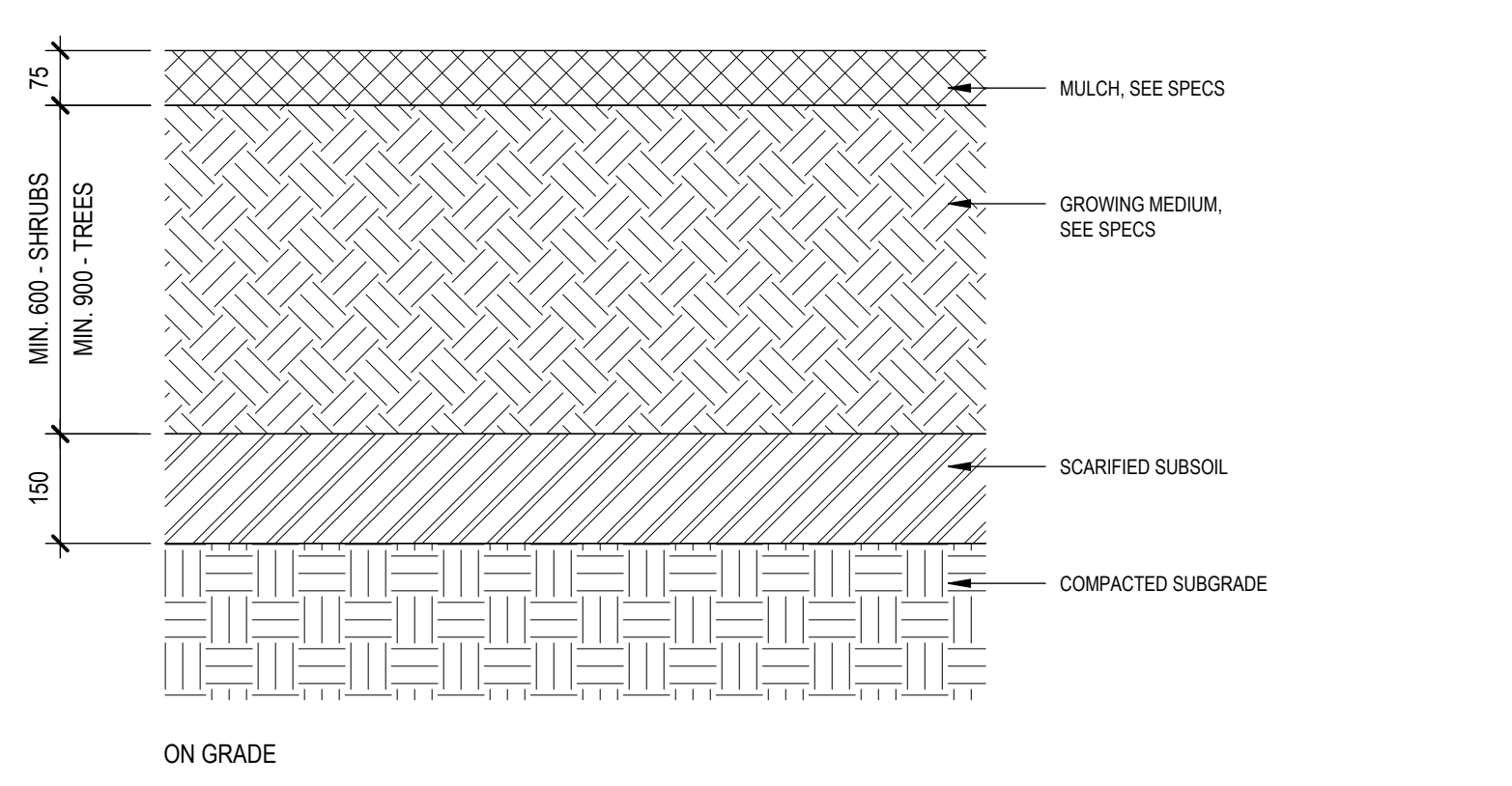
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L3.1
GRANULAR MAINTENANCE EDGE
SCALE: 1 : 10



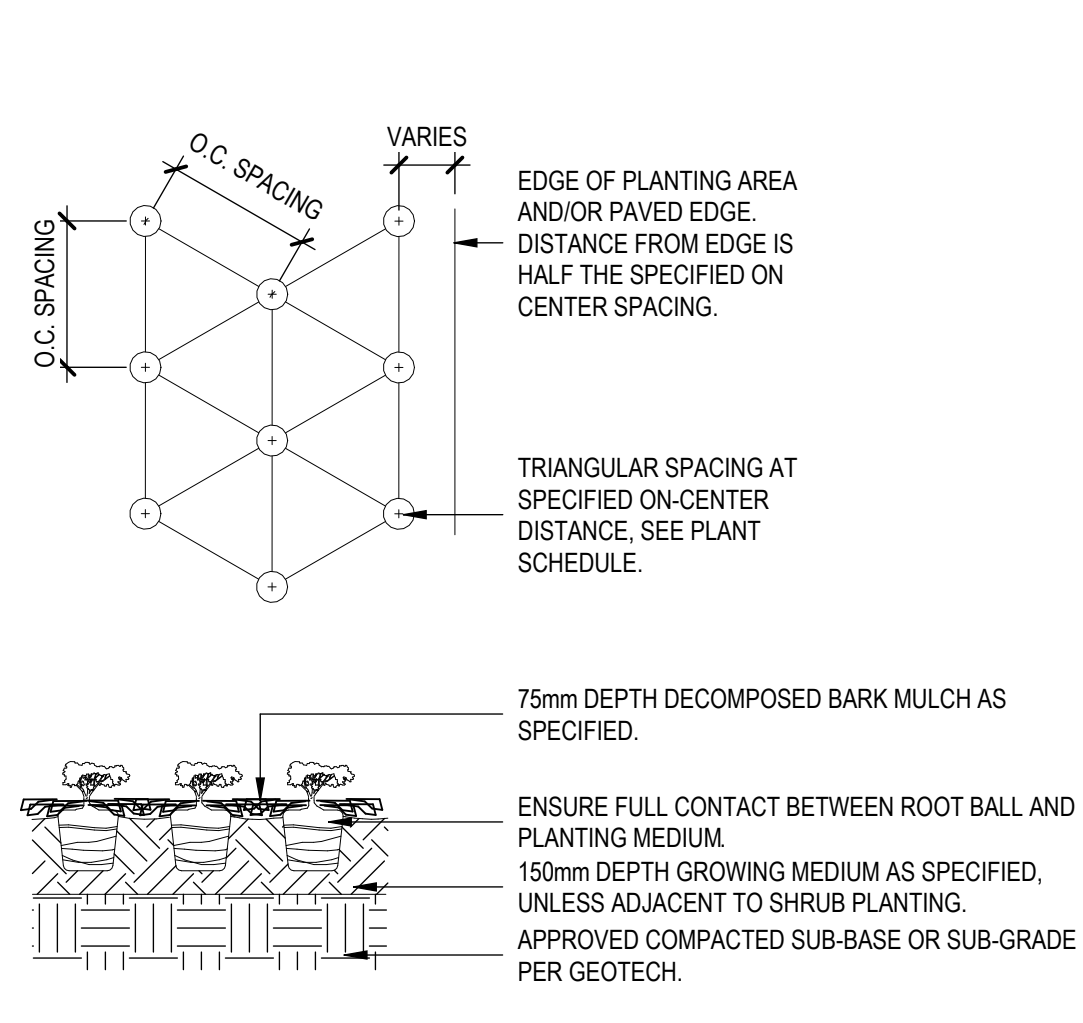
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CONCRETE PLANTING WALL
SCALE: 1 : 10



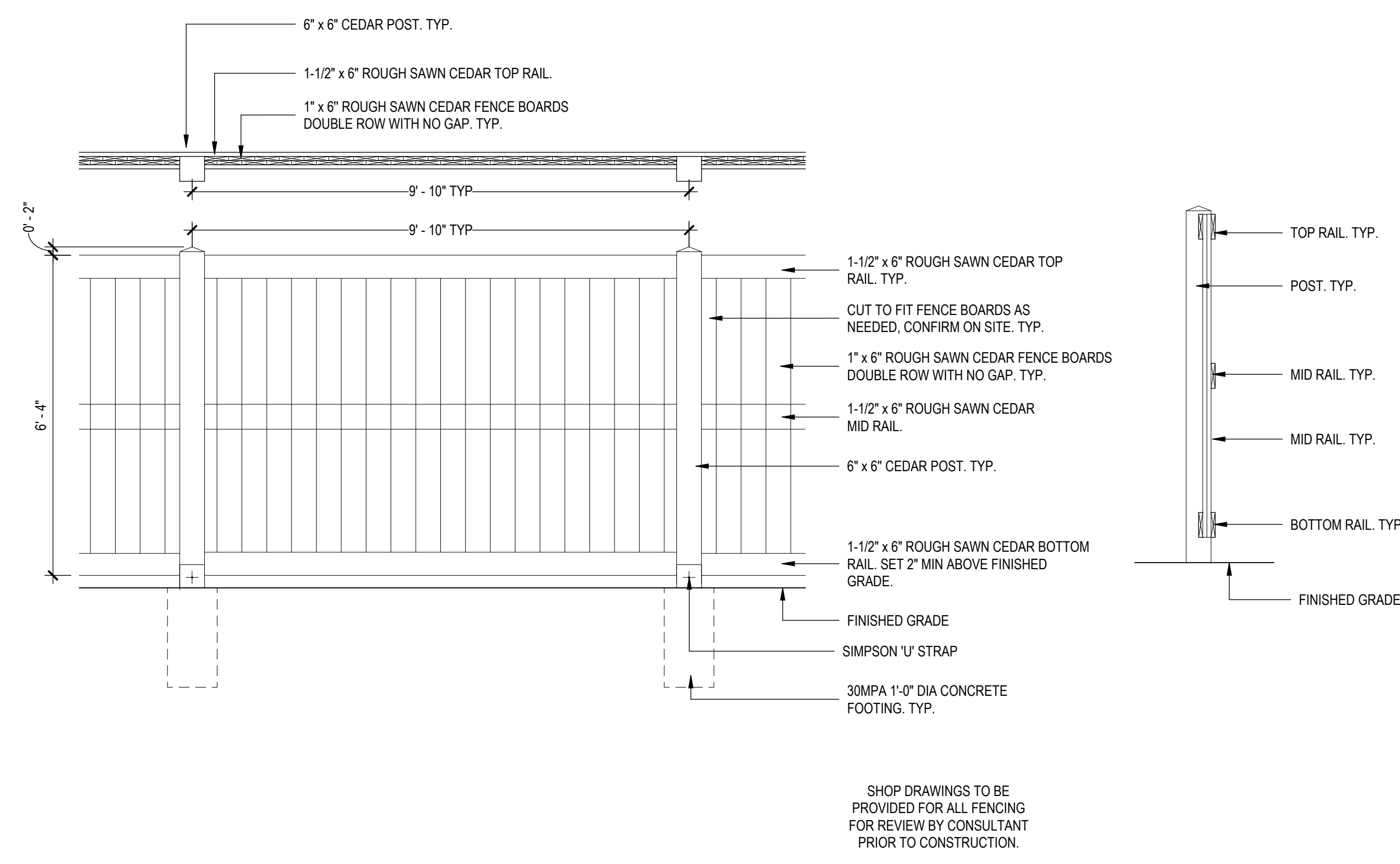
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L3.1
GRANULAR PAVING AT URBAN AGRICULTURE
SCALE: 1 : 10



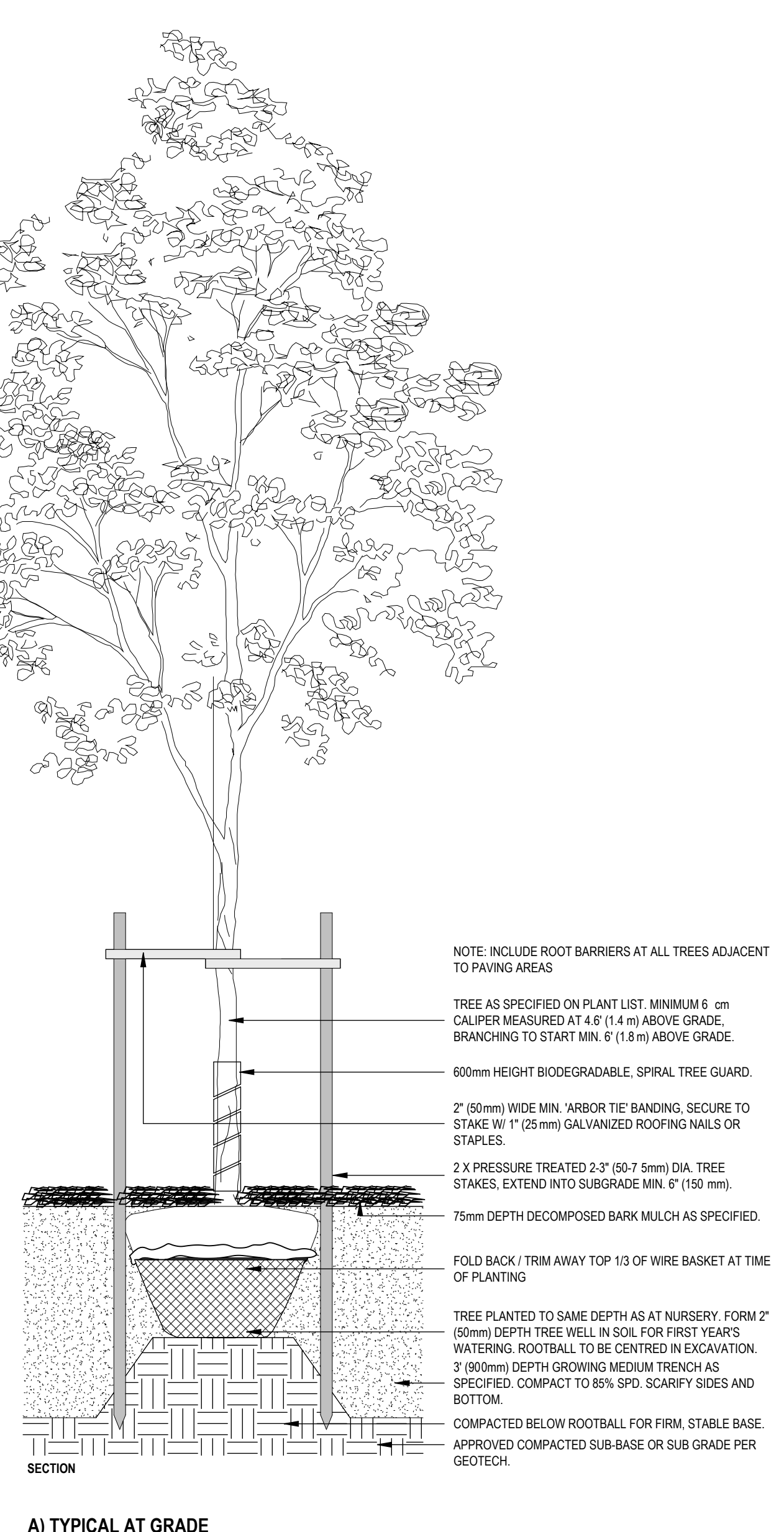
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SCALE: 1 : 10



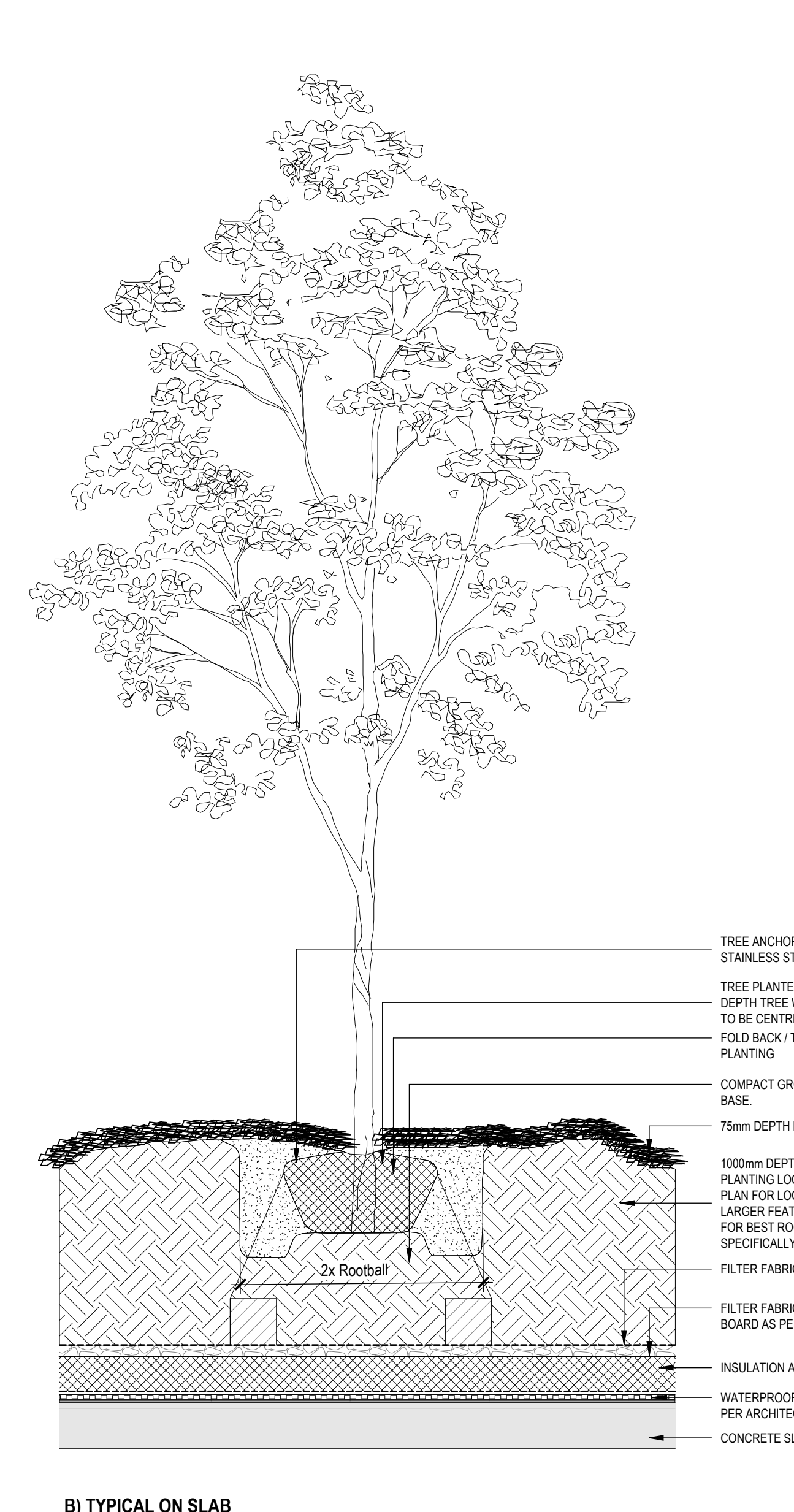
7
L3.1
GROUND COVER PLANTING DETAIL TYP.
SCALE: 1 : 20



9
L3.1
FENCE DETAIL
SCALE: 1 : 25



A) TYPICAL AT GRADE



B) TYPICAL ON SLAB

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KEYPLAN

SEAL

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Saanich, BC, V8M 1V8

SITE DETAILS

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L3.1