REZONING / DEVELOPMENT PERMIT (REV 5)



AERIAL VIEW OF PROPOSED PROJECT FROM SOUTHWEST

1934 HOVEY ROAD

CIVIC ADDRESS:

7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD. SAANICH, BC. V8M 1V8

LEGAL ADDRESS:

LOTS 1, 2 + 3, PLAN 16991, SECTION 7, RANGE 2 EAST, SOUTH SAANICH DISTRICT

REZONING AND DEVELOPMENT PERMIT SUBMISSION

• INITIAL SUBMISSION: OCT 27, 2023

- REVISION 02: APRIL 25, 2024
- ~-- REVISION 03; QCT 11, 2024
- REVISION 04: NOV 12, 2024

DRAWING LIST

- DP0.01 PROJECT INFORMATION
- DP0.02 PUBLIC REALM AND CONTEXT SCALE
- DP0.03 SITE PLAN EXISTING CONTEXT / SITE
- DP0.04 SITE PLAN FIRE ACCESS ROUTE
- DP0.05 DESIGN EVOLUTION / RATIONALE
- DP0.06 SUN STUDIES
- DP0.07 MATERIALS
- DP0.08 PERSPECTIVE VIEW AERIAL FROM SOUTHEAST
- DP0.09 PERSPECTIVE VIEW E. SAANICH RD.
- DP0.10 PERSPECTIVE VIEW HOVEY RD
- DP0.11 PERSPECTIVE VIEWS MAIN ENTRY, MARKET RENTAL DP0.12 PERSPECTIVE VIEWS LEGION MAIN ENTRY
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 DP0.15 CONTEXT ELEVATIONS
- DP1.01 SITE SURVEY
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- DP2.01 WEST BUILDING LEVEL P1
- DP2.02 WEST BUILDING LEVEL 0 (GARDEN LEVEL) DP2.03 WEST BUILDING - LEVEL 01
- DP2.04 WEST BUILDING LEVEL 02 & 03
- DP2.05 WEST BUILDING LEVEL 04
- DP2.06 WEST BUILDING ROOF PLAN
- DP2.07 LEGION (EAST BUILDING) LEVEL 01 / 02 DP2.08 LEGION (EAST BUILDING) - LEVEL 03 / 04
- DP2.10 LEGION (EAST BUILDING)- ROOF PLAN
- DP2.11 DESIGN STUDY 4 STPREY OPT.1
- DP2.12 DESIGN STUDY 4 STPREY OPT 2
- DP2.13 DESIGN STUDY 4 STPREY OPT. 3
- DP4.01 WEST BUILDING SOUTH ELEVATION
- DP4.02 WEST BUILDING NORTH ELEVATION
- DP4.03 WEST BUILDING WEST ELEVATION
- DP4.04 WEST BUILDING EAST ELEVATION
- DP4.05 WEST BUILDING COURTYARD ELEVATIONS DP4.06 EAST BUILDING - SOUTH ELEVATION
- DP4.07 EAST BUILDING NORTH ELEVATION
- DP4.08 EAST BUILDING WEST ELEVATION
- DP4.09 EAST BUILDING EAST ELEVATION
- DP4.10 OVERALL SECTIONS
- DP4.11 WEST BUILDING NORTH SOUTH SECTION
- DP4.12 WEST BUILDING WEST EAST SECTION
- DP4.13 EAST BUILDING NORTH SOUTH SECTION
- DP4.14 EAST BUILDING WEST EAST SECTION

CLIENT ARYZE DEVELOPMENTS

CONTACT: CHRIS QUIGLEY

1839 FAIRFIELD ROAD

VICTORIA, BC V8S 1G9

ARCHITECT AND PRIME CONSULTANT

LANDSCAPE ARCHITECT CONTACT : JAMES GODWIN

406 - 611 ALEXANDER STREET

VANCOUVER, BC V6A 1E1

STRUCTURAL ENGINEER CONTACT: LEON PLETT 220 - 645 TYEE ROAD

VICTORIA, BC V9A 6X5

ELECTRICAL ENGINEER

E2 ENGINEERING INC.

530 HERALD STREET

VICTORIA, BC V8W 1S6

CONTACT: PATRICK LOURDU

MECHANICAL ENGINEER CONTACT : DAN PRESCOTT 406 - 611 ALEXANDER STREET VANCOUVER, BC V6A 1E1

CIVIL ENGINEER MCELHANNEY CONTACT: NATHAN DUNLOP

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GHL CONSULTANTS LTD CONTACT: FRANKIE VICTOR 700 W PENDER STREET, SUITE 800 **ARBORIST**

D CLARK ARBORICULTURE CONTACT : MICHE HACHEY 2741 THE RISE VICTORIA, BC V6C 1G8 **ENVIRONMENTAL ACTIVE EARTH** CONTACT: STEVE BOYCE 968 MEARES STREET

VICTORIA, BC V8V 3J4

DIALOG ARYZE

406 - 611 ALEXANDER STREET

VANCOUVER, BC V6A 1E1

CONTACT : VANCE HARRIS



DEVELOPMENT DATA

FAR CALCULATIONS - 4st Option

Level	Residential Area	Stairs	Circulation / Elevator	Bike Storage / Storage	Mech / Services	Amenity / Lobby	Gross Buildable	Balcony Area	Stairs	Total Deductions	Net FSR
	Α	В	С	D	E	F	G (A+B+C+D+E+F)	Н	J	K (J)	L (G - K)
EAST BLDG (LEGION) 01	185 sq.m	26 sq.m	74 sq.m	109 sq.m	55 sq.m	215 sq.m	663 sq.m	0 sq.m	26 sq.m	26 sq.m	637 sq.m
EAST BLDG (LEGION) 01	1,123 sq.m	20 sq.m	122 sq.m			0 sq.m		89 sq.m	20 sq.m 27 sq.m		1,258 sq.m
EAST BLDG (LEGION) 02 EAST BLDG (LEGION) 03	1,123 sq.m	26 sq.m	122 sq.m	•	•	0 sq.m	-	89 sq.m	26 sq.m	•	1,250 sq.m
EAST BLDG (LEGION) 03	1,124 sq.m	26 sq.m	122 sq.m			0 sq.m	·	89 sq.m	26 sq.m	·	1,259 sq.m
LAST BLDG (LEGION) 04	1,124 34.111	20 94.111	122 94.111	0 34.111	10 54.111	0 54.111	1,200 84.111	09 Sq.iii	20 34.111	20 34.111	1,200 54.111
Subtotal	3,557 sq.m	104 sq.m	440 sq.m	109 sq.m	94 sq.m	215 sq.m	4,518 sq.m	267 sq.m	104 sq.m	104 sq.m	4,414 sq.m
	•	·	·	·	•	•	48,631 sq.ft	•	·	1,121 sq.ft	47,510 sq.ft
WEST BLDG (MARKET RENTAL) 00	233 sq.m	13 sq.m	49 sq.m	454 sq.m	0 sq.m	163 sq.m	912 sq.m	0 sq.m	13 sq.m	13 sq.m	899 sq.m
WEST BLDG (MARKET RENTAL) 01	1,908 sq.m	41 sq.m	184 sq.m	0 sq.m	11 sq.m	82 sq.m	2,225 sq.m	44 sq.m	41 sq.m	41 sq.m	2,184 sq.m
WEST BLDG (MARKET RENTAL) 02	2,025 sq.m	26 sq.m	181 sq.m	0 sq.m	11 sq.m	0 sq.m	2,243 sq.m	191 sq.m	26 sq.m	26 sq.m	2,217 sq.m
WEST BLDG (MARKET RENTAL) 03	2,024 sq.m	26 sq.m	180 sq.m	0 sq.m	12 sq.m	0 sq.m	2,242 sq.m	194 sq.m	26 sq.m	26 sq.m	2,216 sq.m
WEST BLDG (MARKET RENTAL) 04	2,024 sq.m	26 sq.m	181 sq.m	0 sq.m	11 sq.m	0 sq.m	2,242 sq.m	186 sq.m	26 sq.m	26 sq.m	2,216 sq.m
Subtotal	8,215 sq.m	132 sq.m	774 sq.m	454 sq.m	46 sq.m	245 sq.m	9,864 sq.m	615 sq.m	132 sq.m	132 sq.m	9,733 sq.m
	•	·	·		•	•	106,179 sq.ft	•	•	1,417 sq.ft	104,762 sq.ft
Grand Total (Above Grade)	11,772 sq.m	236 sq.m	1,214 sq.m	562 sq.m	139 sq.m	460 sq.m	14,382 sq.m	882 sq.m	236 sq.m	236 sq.m	14,146 sq.m
		·					154,809 sq.ft			2,538 sq.ft	152,271 sq.ft
										Total Site Area:	8,089 sq.m
										Total FSR :	1.75
									Market Rental FSR	•	1.84
									Legion FSR	(w/subdivision)	1.58

0 sq.m

0 sq.m

0 sq.m

11,772 sq.m 236 sq.m 1,214 sq.m 562 sq.m

0 sq.m

0 sq.m

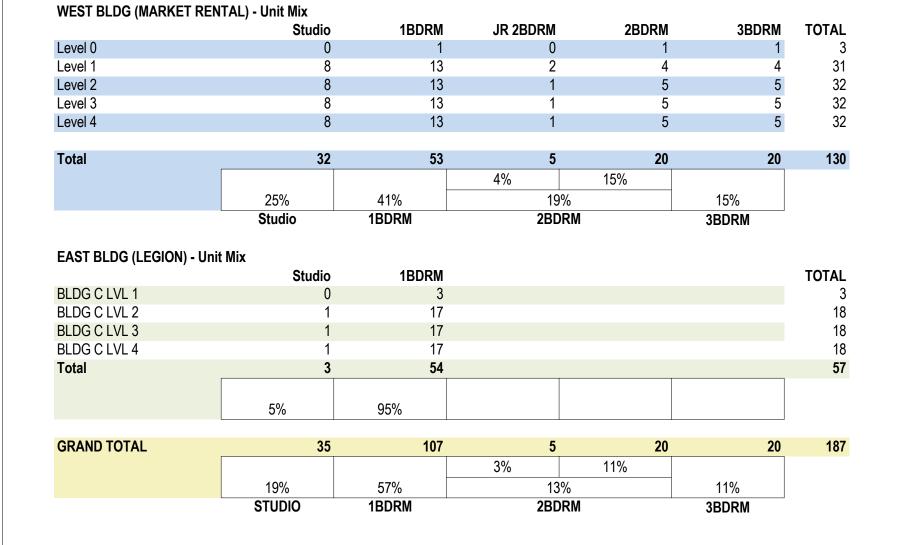
14,382 sq.m 154,809 sq.ft

UNIT MIX

Grand Total

T.O. ROOF

LEVEL P1 LOWER



PROJECT INFORMATION

DEVELOPMENT PERMIT ZONING SU				LEGAL DESCRIP	TION	MUNICIPAL ADDRESS			
Building Use	REQUIRED RM-1	PROPOSED RM-5	VARIANCE	LOTS 1, 2 + 3, PLAN 16991,	SECTION 7. RANGE 2	7551 E. SAANICH RD AND 1934/1950/1960/1966			
Setbacks - Front	T COVIT	1 (10)		EAST, SOUTH SAANICH DI	•	HOVEY RD			
Lot 1 - West Building (Market Rental)									
Rear	10.5m	10.5m	0	BIIII DING CODE	SHWWYDA				
Side	6.0m	6.0m	0	BUILDING CODE SUMMARY					
Front	6.0m	6.0m	0	PROJECT DESCRIPTION:					
Exterior Side	6.0m	6.0m	0			SEMBLED RM-1 LOTS INTO A COMBINED LOT			
ot 2 - East Building (Legion)						IULTIFAMILY, PURPOSE BUILT RENTAL PROJECT OOD FRAME BUILDINGS. THE WEST BUILDING			
Rear	10.5m	5.0m	-5.5m		CONTAINS 130 RENTAL UNITS OVER AN UNDERGROUND PARKADE, AND THE EAST BUILDING				
Side (+5m when adjacent to ALR)	11.0m	11.0m	0.0m	CONTAINS 57 SENIOR ORI	CONTAINS 57 SENIOR ORIENTED RENTAL UNITS WITH SURFACE PARKING				
Front Exterior Side	6.0m 6.0m	6.0m 3.0m	0.0m -3.0m	GOVERNING CODE: 202	GOVERNING CODE: 2024 BC BUILDING CODE / 2018 BCBC FOR SEISMIC AND ADAPTBILITY REQUIRM				
Exterior Side	0.0111	3.0111	-5.011	AUTHORITY HAVING JURISDICTION: CENTRAL SAANICH					
Building Height				DEVELOPMENT PERMIT P	ROJECT NUMBER:	EXISTING 🛛 NEW: <dp number=""></dp>			
Vest Building (Market Rental)	45.0	40.0	4.0		:				
Community Garden Side (5 story massing)	15.0m	16.2m	1.2m	MAJOR OCCUPANCY (S):	GROUP C - APARTMEN	NTS			
E. Saanich Rd. Side (4 story massing)	15.0m	14.5m	-0.5m	MINOR OCCUPANCY (S):	GROUP F3 - STORAGE	E GARAGE			
Average Building Height		15.4m		CDOSS AREA (m-2).	WEST BUILDING (MAD	I/FT DENITAL \ FACT DI III DINIC /I FCIONI\			
East Building (Legion)	15m	14.5m	-0.5m	GROSS AREA (m²):	WEST BUILDING (MAR TOTAL AREA: 9,864 m ²				
					101AL AILA. 9,004 III	TOTAL AILA. 4,510 III			
Accessory Structure Height	4.5m	n/a	n/a	NUMBER OF STOREYS:	ABOVE GRADE: 4 and	5 STORIES BELOW GRADE: 1 STOREY			
Lot Area				SPRINKLERED:	YES (NFPA-13)				
Lot 1 - West Building (Market Rental)	n/a	5,291 sq.m		STANDPIPE:	YES				
Lot 2 - East Building (Legion)	n/a	2,798 sq.m 8,089 sq.m		CONSTRUCTION TYPE:	WEST BUILDING (MAR	KET RENTAL)			
_ot Frontage		, ,			LEVEL P1 - NON COME	DIISTIRI E			
_ot 1 - West Building (Market Rental)	n/a	46.4m			LEVEL 0 - NON COMBU				
Lot 2 - East Building (Legion)	n/a	33.6m			LEVEL 1-4 - COMBUST	IBLE			
3 (
Lot Coverage	(Lange	~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~			EAST BUILDING (LEGIC	ON)			
Lot 1 - West Building (Market Rental)	\ 45%	46%	1%			JSTIBLE (UNDERCROFT PARKING)			
Lot 2 - East Building (Legion)	45%	~~~~~ 55 %~	10%		LEVEL 2/3/4 - COMBUS	STIBLE			
Floor Area Ratio			<u> </u>						
Lot 1 - West Building (Market Rental)	1.6	1.84	0.24						
Lot 2 - East Building (Legion)	1.6	1.58	-0.02						

ot Coverage	\sim	m		EAST	BUILDING (LEGION)	
t 1 - West Building (Market Rental)	\ 45%	46%	1%		1 - NON COMBUSTIBLE (UN	IDERCROFT PARK
t 2 - East Building (Legion)	45%	55%	10%	LEVEL	2/3/4 - COMBUSTIBLE	
oor Area Ratio						
t 1 - West Building (Market Rental)	1.6	1.84	0.24			
t 2 - East Building (Legion)	1.6	1.58	-0.02			
FF STREET PARKING SUMMARY				PARKING BREAKDOWN		
rking Spaces (On Site)	281 Stalls	161 Stalls	-120 Stalls			
	1.5 Stalls / unit	0.86 Stalls / unit			Lot 1	Lot 2
					West Building	East Build
sitor Parking (On Site)	47 Stalls	18 Stalls	-29 Stalls		(Parkade)	(Legion
,	.25 Stalls / unit	0.10 Stalls / unit		Standard (2.7m x 5.5m)	86 Stalls	13
On Site Subtotal	327 Stalls	179 Stalls	-148 Stalls	Small Car (2.4m x 5.0m) - 30% allowable	39 Stalls	10
	1.75 Stalls / unit	0.96 Stalls / unit		Accessible Type A (3.7m x 5.5m)	0 Stalls	2
				Accessible Type B (2.7m x 5.5m)	5 Stalls	6
verflow Parking at Legion Property (Off Site)		14 Stalls		Subtotal		31
Total Parking Stalls	327 Stalls	193 Stalls 1.03 Stalls / unit	-134 Stalls		1.00 Stalls / unit	0.54 Stall
paces for Accessibility				Visitor Parking	6 Stalls	12
Accessible Type A (3.7m x 5.5m)	2 Stalls	2 Stalls	0 Stalls		0.05 Stalls / unit	0.21 Stall
Accessible Type B (2.7m x 5.5m)	11 Stalls	11 Stalls	0 Stalls	Subtotal		43
Accession Type D (211111 X cicili)	TT Claire	TT Otalio	o otano	Cubicia	100 Gtano	.0
pading Space (3m x 9m)	0	1	1	Overflow Parking at Legion Property (Off Site)		14
damig opaco (cm x cm)	· ·	•	•	Grand Total	136 Stalls	57
FF STREET PARKING DESIGN				Statia Total	1.05 Stalls / unit	1.00 Stall
crease width wall/fence (0.3m)	0.3m	0.3m	0			
,				(mmmmm)		
anoeuvring aisle	7.5m	7.5m	0	VARIANCE REQUESTS		
rking Setbacks	n/a			1. Lot Coverage for the West Bldg		
				2. Rear and Side Setbacks for Lot 2 3. Project wide parking stall reduction		
cycle Parking (Both Buildings)				4. Bike parking reduction for the Legion Bldg		
cycle Racks Short Term (1 / 10 stalls)	33 Bikes	44 Bikes	11 Bikes	5. Balcony encroachment on the West Bldg		
				{		
cycle Storage Long Term						
t 1 - West Building (Market Rental)	195 Bikes	308 Bikes	113 Bikes			
	1.5 Bikes / unit	2.37 Bikes / unit				
Bike Stall Breakdown						
Quad Racks (4 Bikes / Rack)		212 Bikes				
Wall Mount (2 Bikes / Rack)		58 Bikes				
Oversize / Cargo Bikes		38 Bikes				
-						

0.86 Stalls / unit

0.10 Stalls / unit

1.03 Stalls / unit

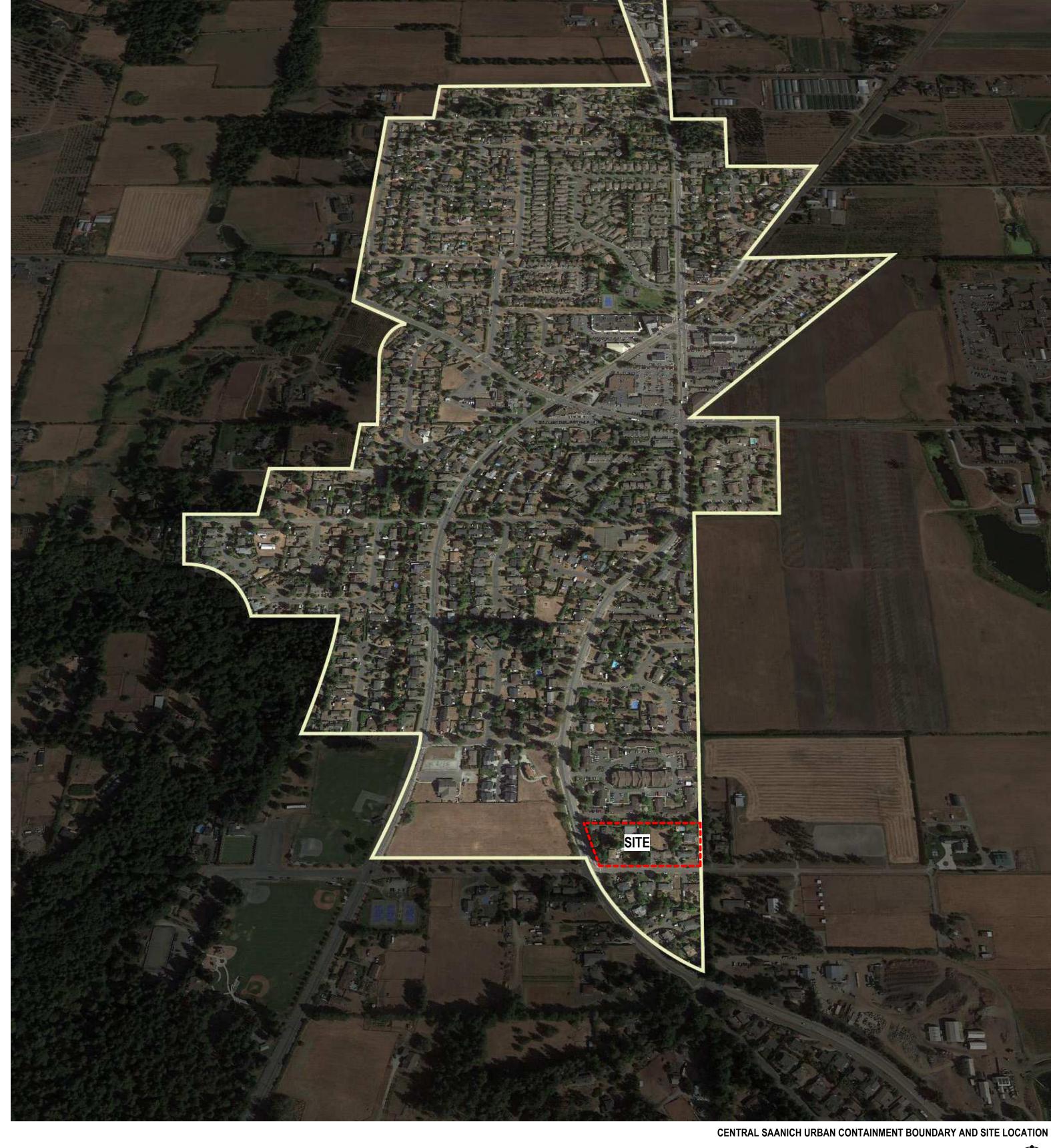






DRONE VIEW - LOOKING NORTHEAST



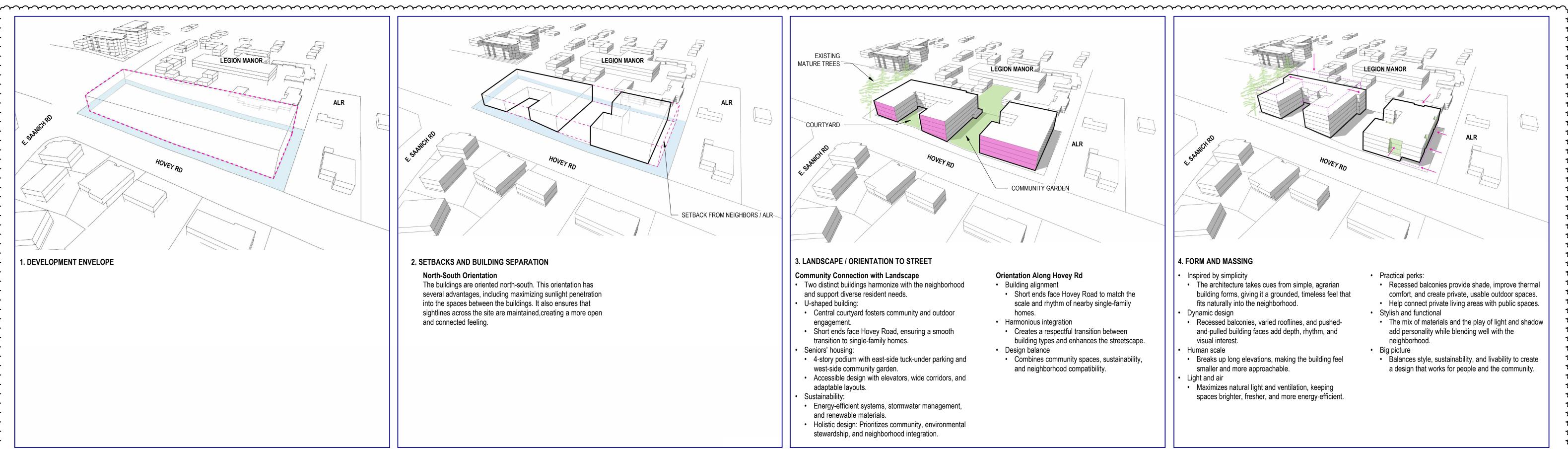








MASSING / LAYOUT





3. LANDSCAPE / ORIENTATION TO STREET

Community Connection with Landscape Two distinct buildings harmonize with the neighborhood and support diverse resident needs.

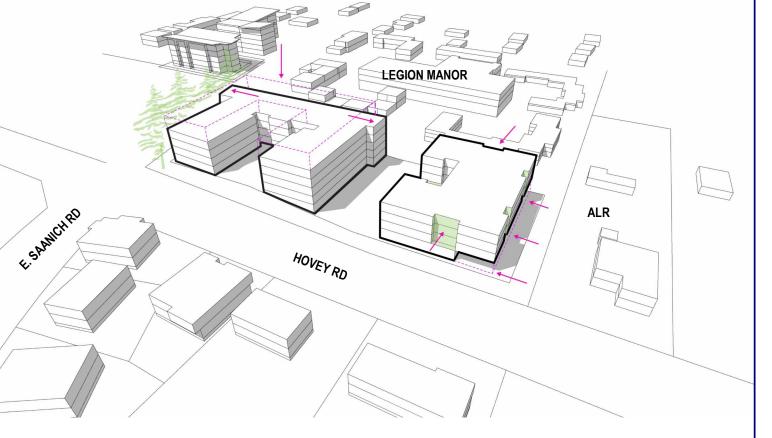
- U-shaped building: Central courtyard fosters community and outdoor
- Short ends face Hovey Road, ensuring a smooth
- transition to single-family homes. Seniors' housing: 4-story podium with east-side tuck-under parking and
- west-side community garden. Accessible design with elevators, wide corridors, and adaptable layouts.
- Sustainability: • Energy-efficient systems, stormwater management,
- and renewable materials. Holistic design: Prioritizes community, environmental stewardship, and neighborhood integration.

Orientation Along Hovey Rd

- Building alignment Short ends face Hovey Road to match the scale and rhythm of nearby single-family
- Harmonious integration Creates a respectful transition between

and neighborhood compatibility.

building types and enhances the streetscape. Design balance Combines community spaces, sustainability,



4. FORM AND MASSING

- Inspired by simplicity The architecture takes cues from simple, agrarian
- building forms, giving it a grounded, timeless feel that fits naturally into the neighborhood. Dynamic design
- Recessed balconies, varied rooflines, and pushedand-pulled building faces add depth, rhythm, and visual interest.
- Human scale Breaks up long elevations, making the building feel smaller and more approachable.
- Light and air Maximizes natural light and ventilation, keeping spaces brighter, fresher, and more energy-efficient.
- Practical perks:
- Recessed balconies provide shade, improve thermal comfort, and create private, usable outdoor spaces. Help connect private living areas with public spaces.
- Stylish and functional The mix of materials and the play of light and shadow add personality while blending well with the
- neighborhood. Big picture
- Balances style, sustainability, and livability to create a design that works for people and the community.





ARCHITECTURAL CHARACTER

Architectural Style and Design

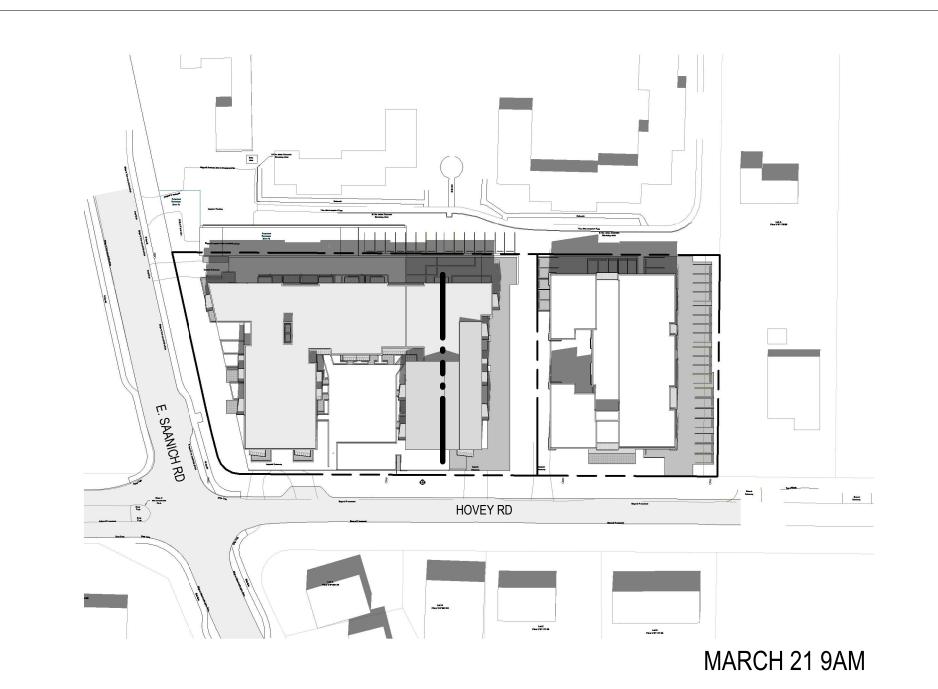
The design for this multifamily project is rooted in the rural, agrarian character of the surrounding area, with a focus on simplicity, functionality, and integration with the landscape. We drew inspiration from the straightforward form of barns, which are iconic in rural architecture. While the buildings feature clean, modern lines, they maintain a connection to the simplicity of traditional farm structures, creating a design that is both contemporary and respectful of the past.

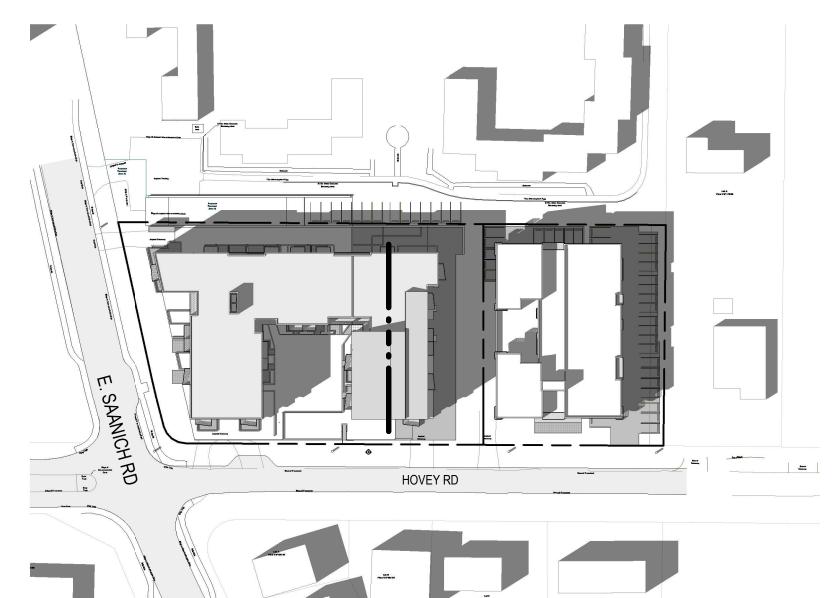
Landscaping and Green Space

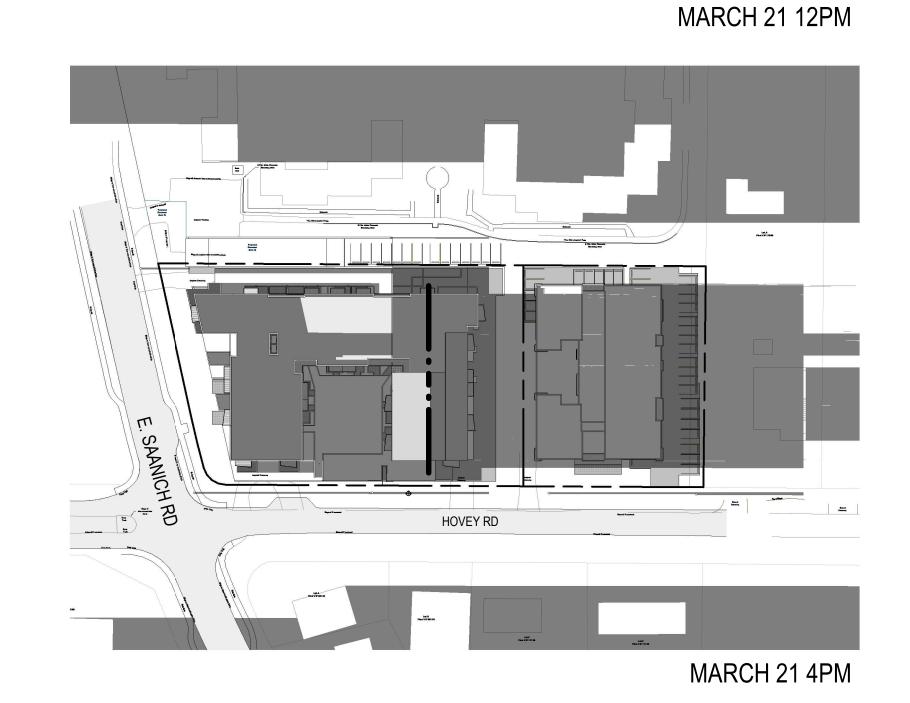
A key aspect of the project is the integration of open spaces between the buildings, which not only create a sense of openness but also serve as resident amenities. These spaces are designed to encourage community interaction, relaxation, and outdoor activities. Community gardens are a significant feature, offering opportunities for residents to engage with nature and grow their own

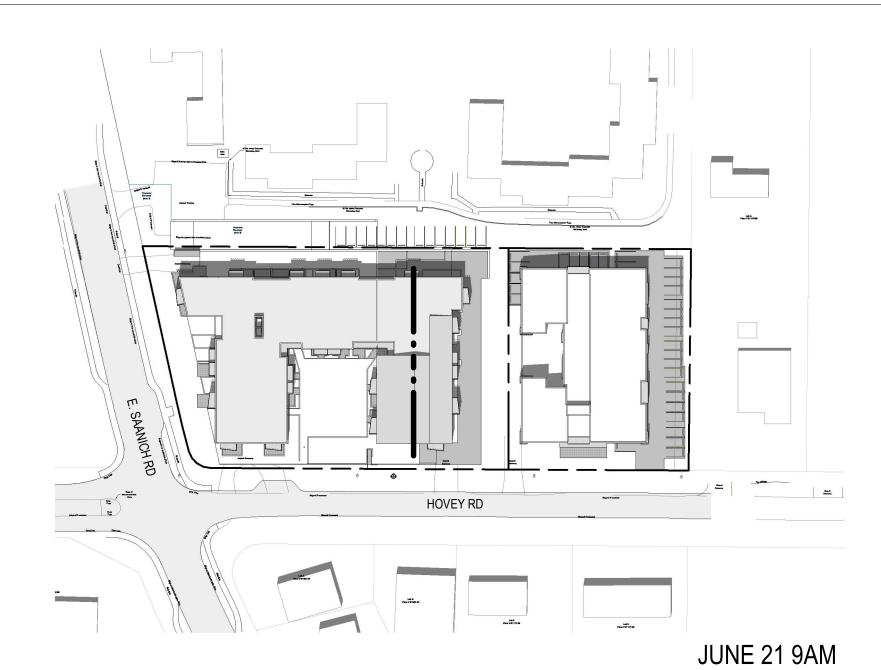
To give the project vibrancy and character, the buildings themselves incorporate bold, yet harmonious colors. This adds a lively contrast to the natural materials used, infusing the design with energy while still blending with the rural setting. This thoughtful approach helps create a welcoming and dynamic living environment, rooted in its surroundings yet distinctly modern.

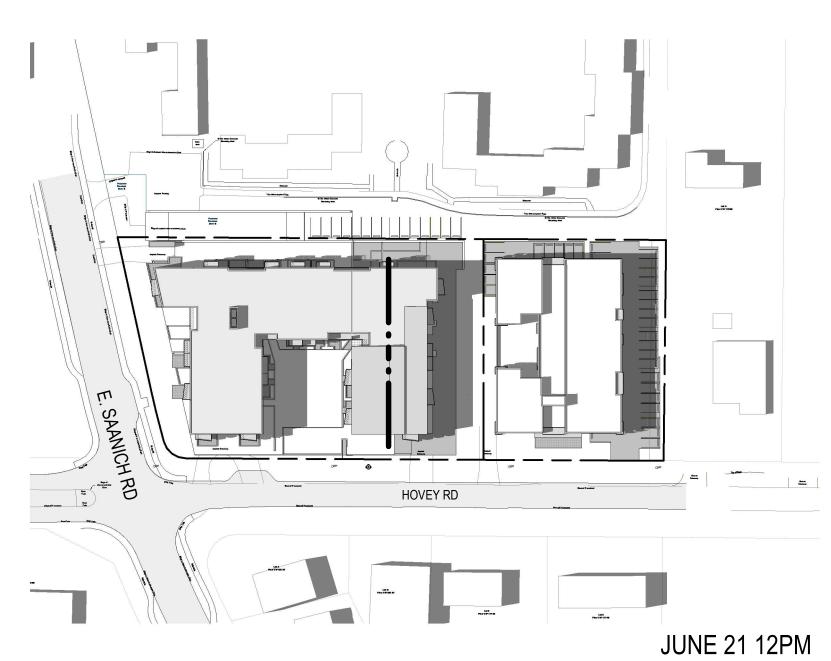


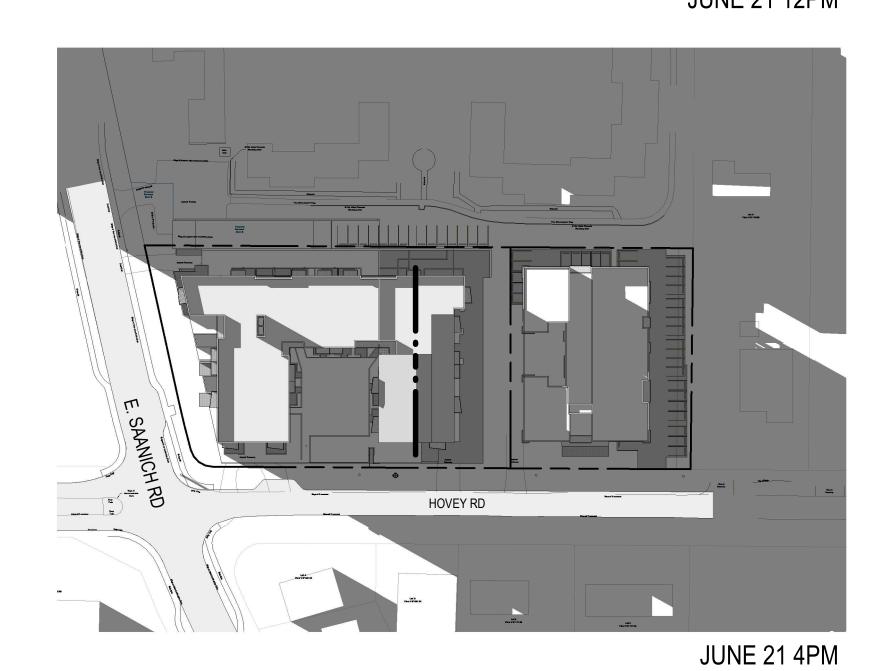


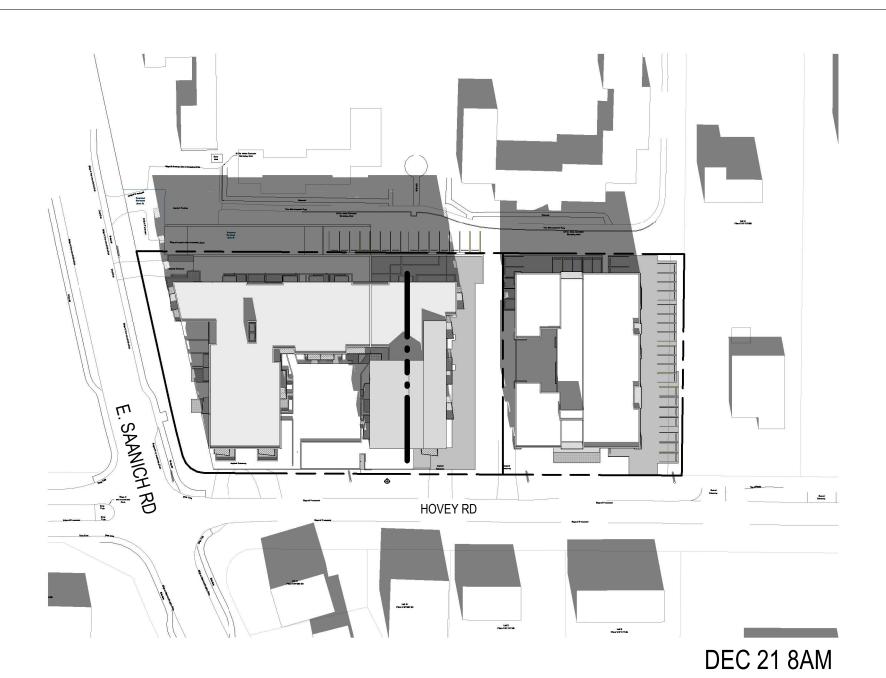




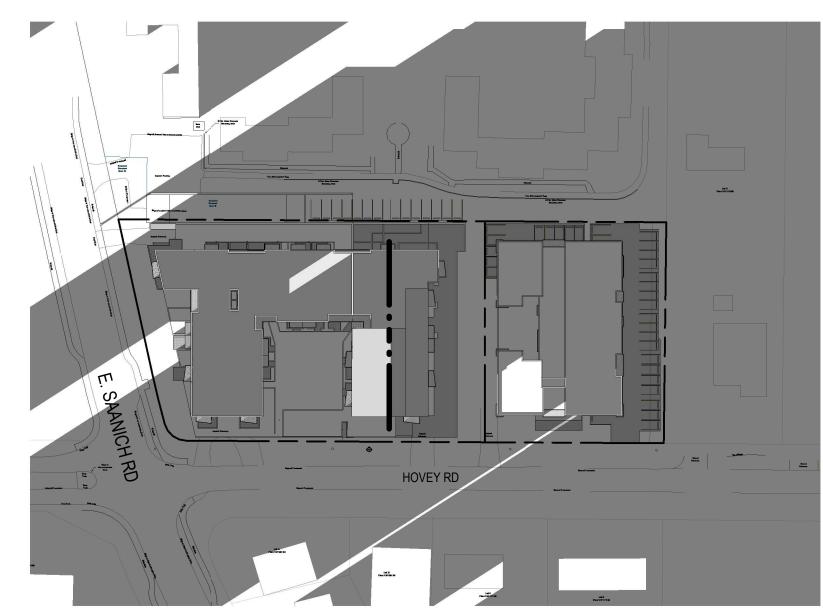




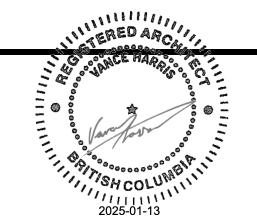








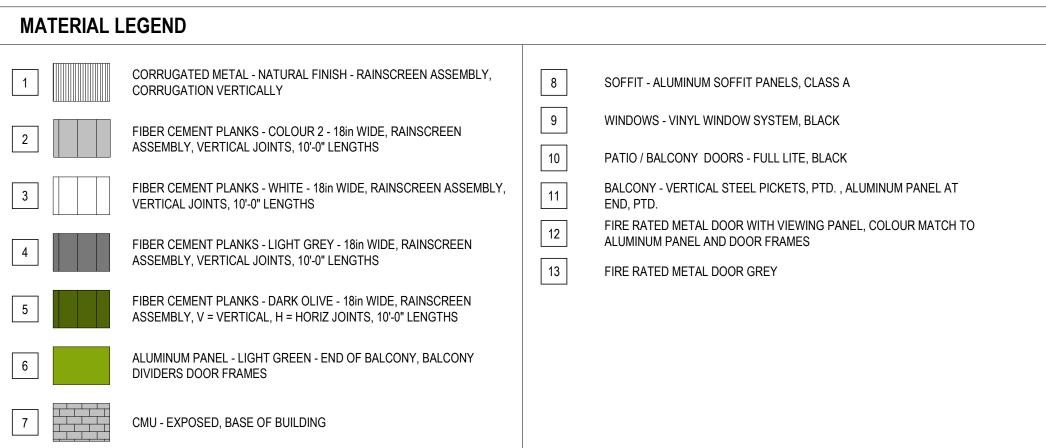
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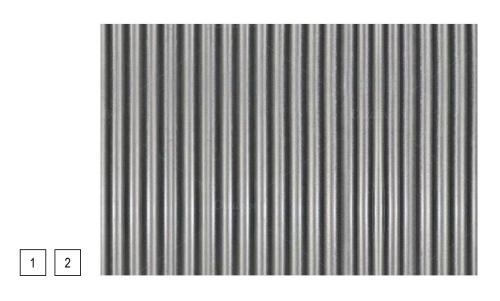




PARTIAL BUILDING ELEVATION (WEST BUILDING SHOWN)













MATERIAL PALLETE INSPIRATION

This material palette combines the honesty and simplicity of agricultural buildings with the practicality and durability required for a modern structure. The hope is to create a strong connection to the rural surroundings and contribute to a timeless, functional design, and create a unique sense of place and identity. Additionally, the choice of materials in this palette can be complemented by the addition of

- Corrugated Metal Siding: Corrugated metal siding is a practical choice for both its durability and its visual appeal in an agricultural context. It's capable of withstanding the elements, and its simple, linear profile contributes to the rustic aesthetic.
- Wide Vertical Planks: Wide plank cladding is a traditional material found in rural and agricultural buildings
- Concrete Block Base (Legion Bldg): A concrete block base provides stability and a solid foundation for the structure. Concrete is a robust and low-maintenance material, making it suitable for the lower portion of the building. The contrast between concrete and the other materials can also add visual interest to the facade.



AERIAL VIEW OF PROPOSED PROJECT FROM SOUTHEAST

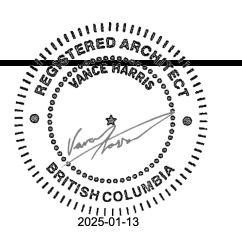




VIEW ALONG E. SAANICH ROAD, LOOKING NORTHEAST









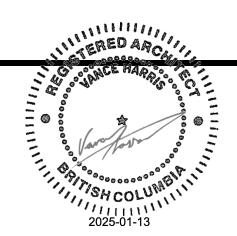
MARKET RENTAL - MAIN ENTRY ALONG E. SAANICH RD.



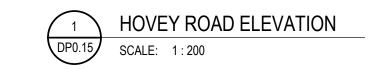




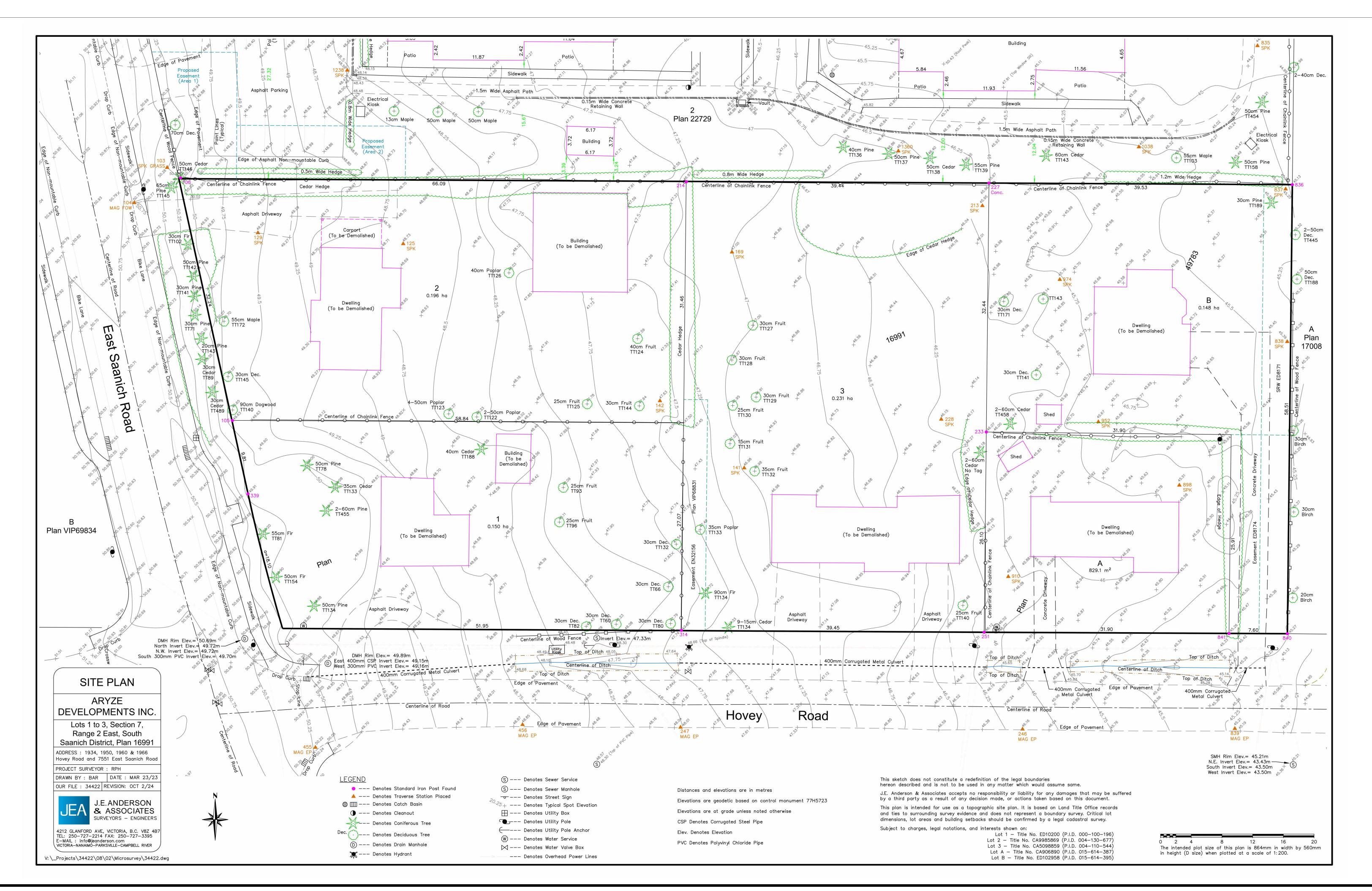










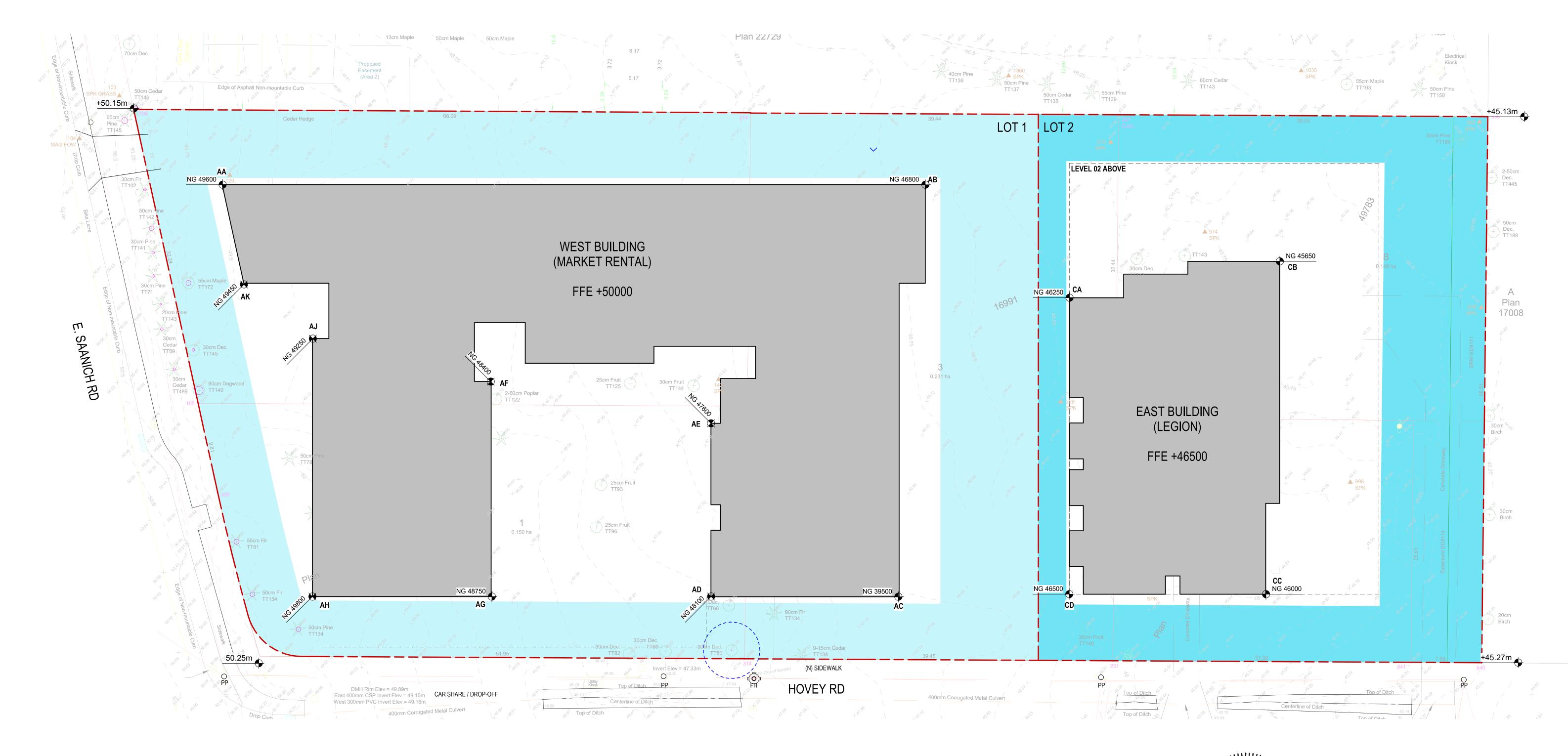


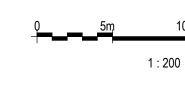
AVERAGE GRADE CALCULATION Lot 1 - West Bldg (Market Rental) Grade Points Natu Lot 2 - East Bldg (Legion) **Grade Points** Natural Grade CA 49600 46250 45650 46800 46000 39500 CC 46500 48100 47600 48400 48750 49800 49250 49450

Natural Grade (Average)

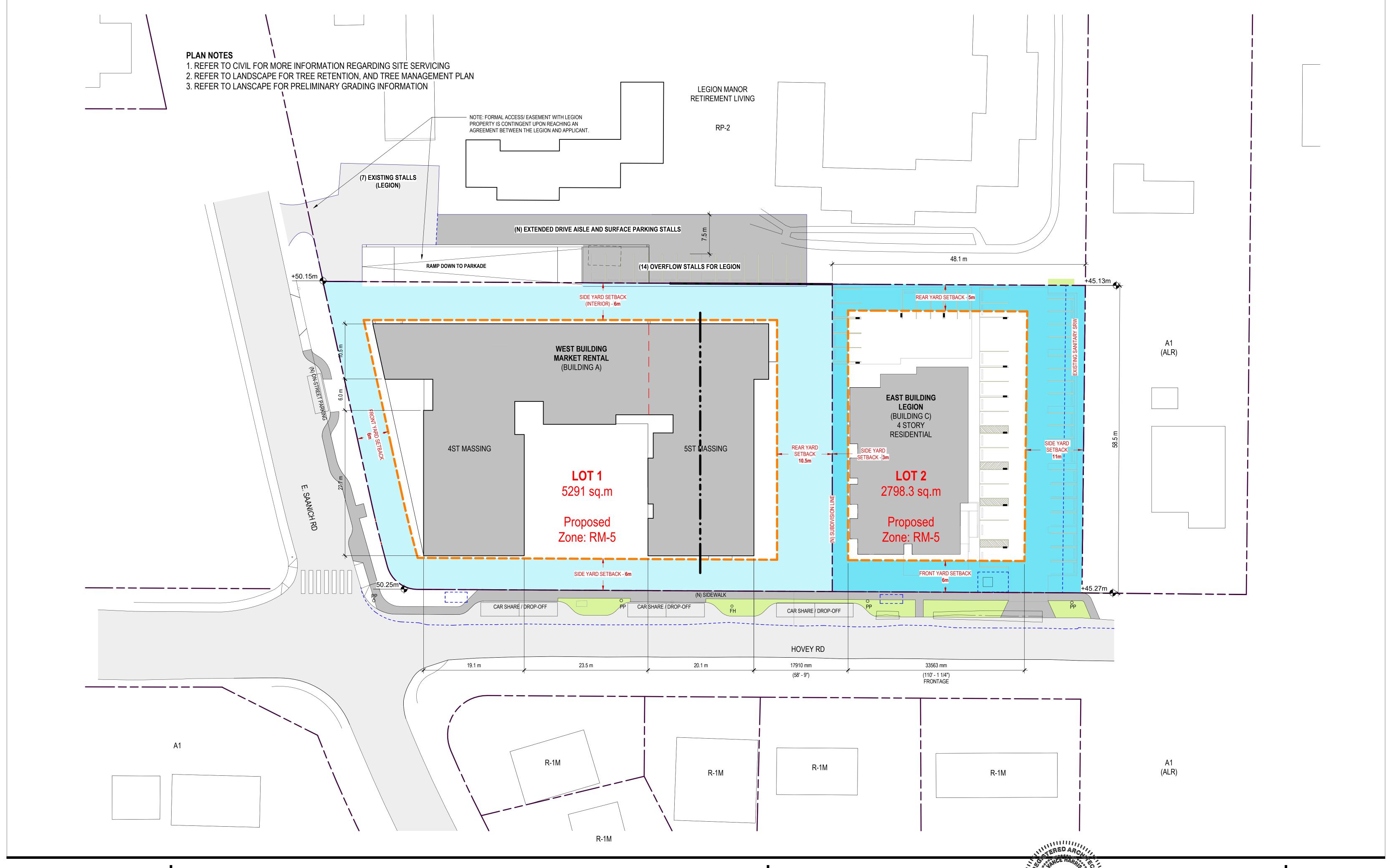
"Natural Grade" means the average ground level recorded at the outermost corners of a building or proposed building as determined by survey and referenced benchmark prior to site preparation.

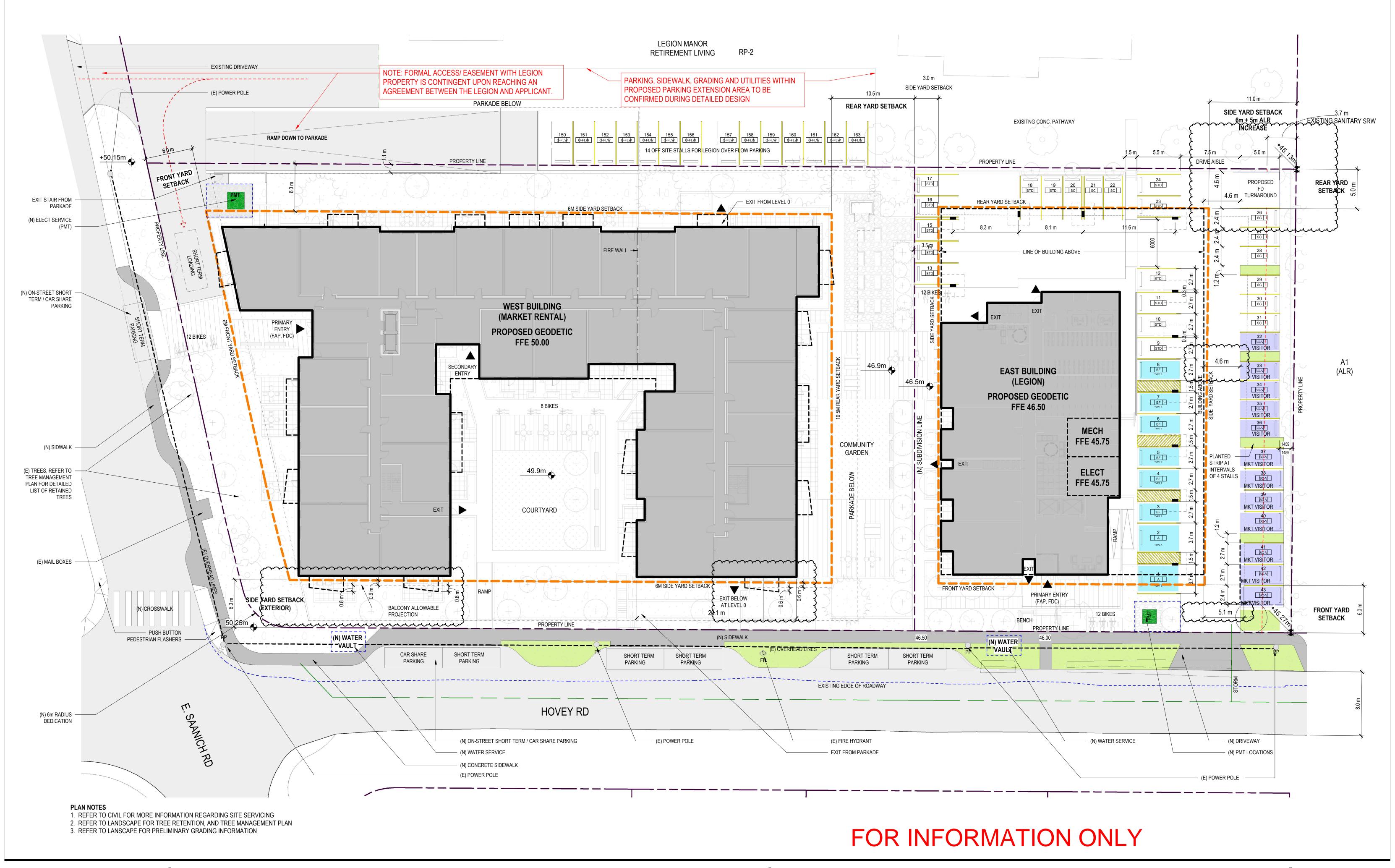
Natural Grade (Average)



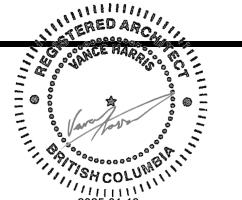


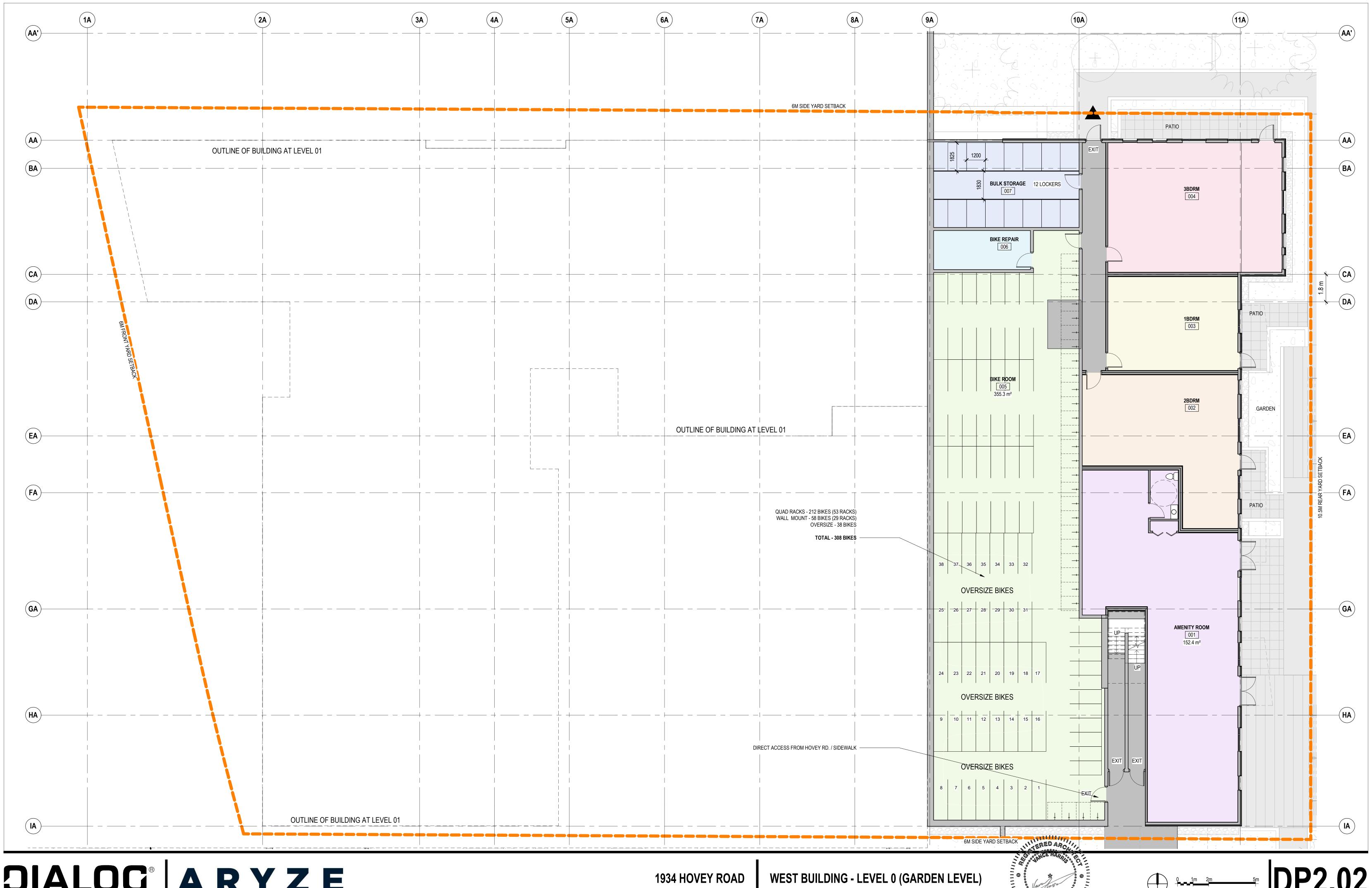








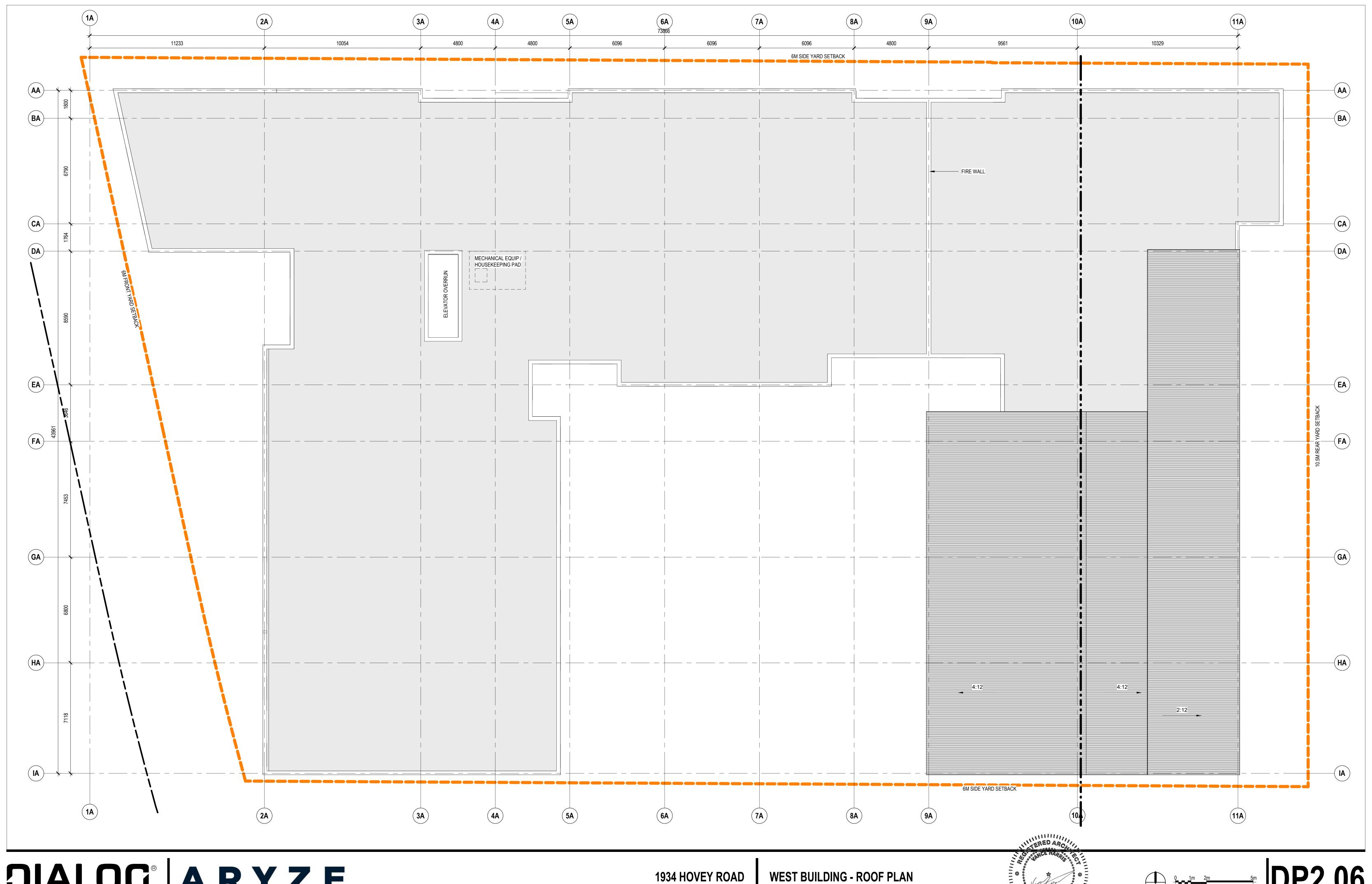


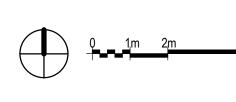


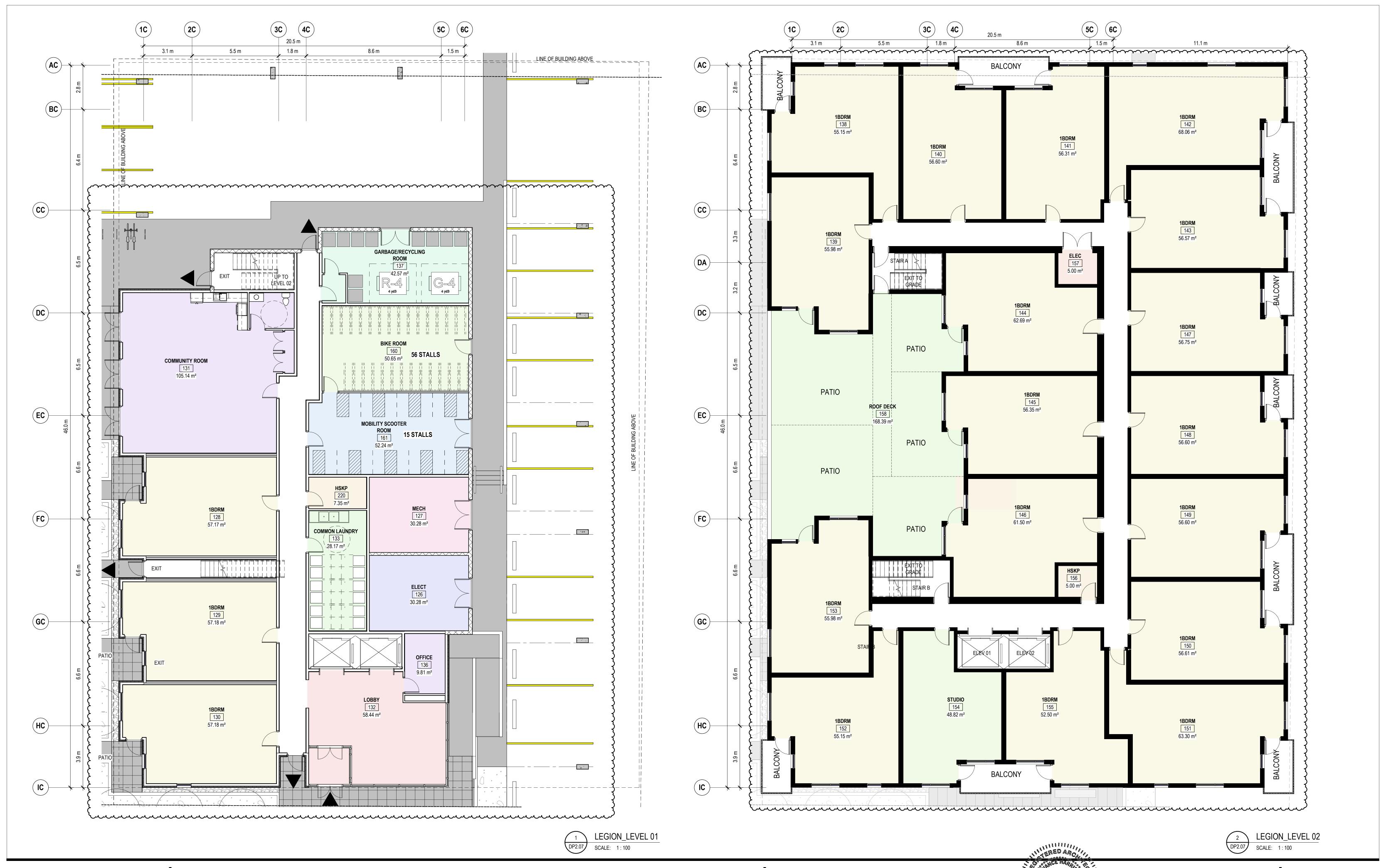




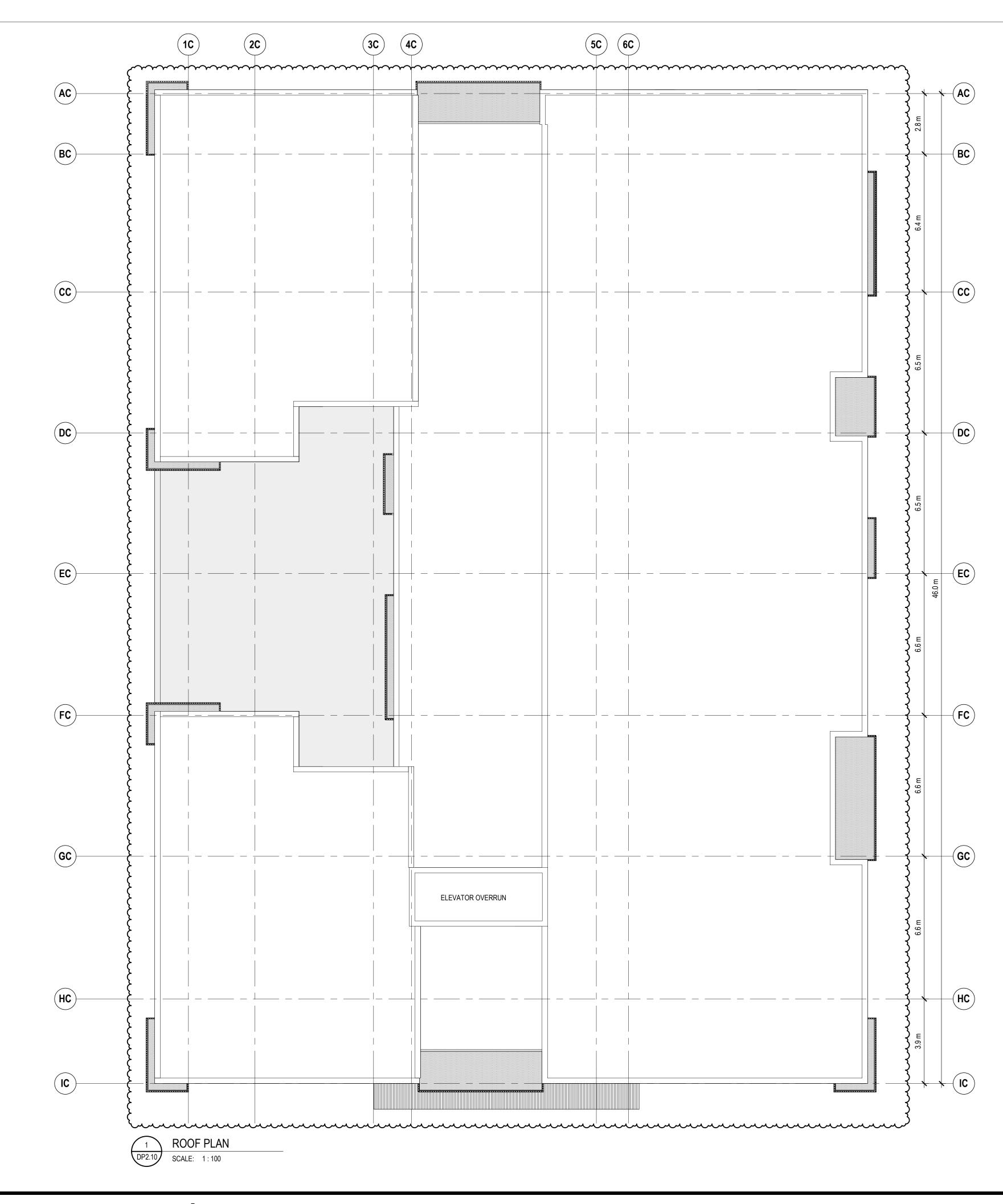


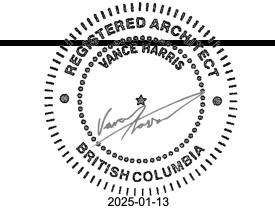












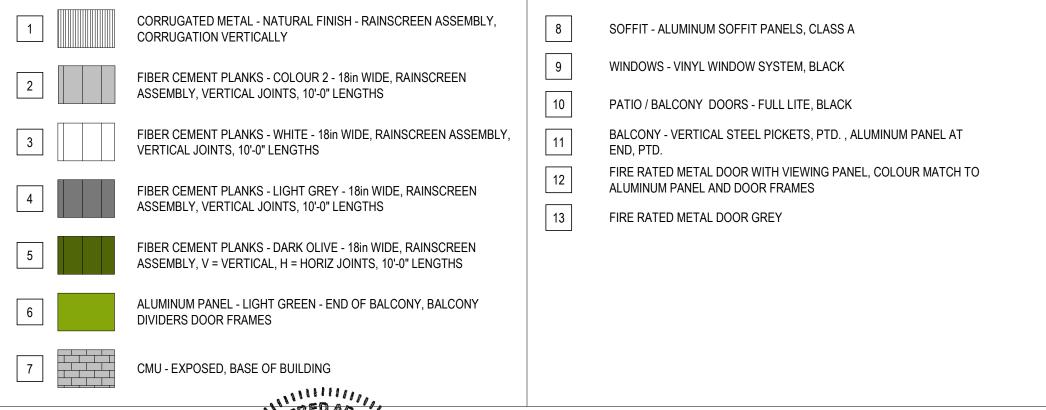


7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD

MATERIAL LEGEND

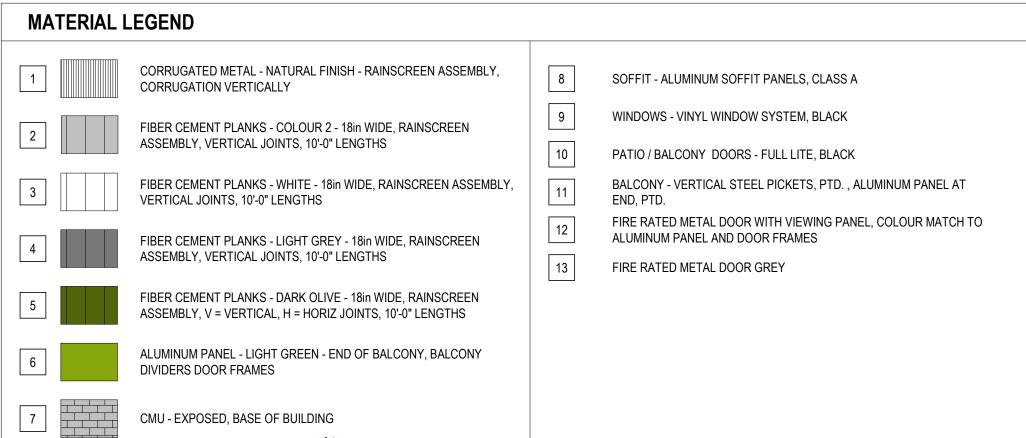
SOFFIT - ALUMINUM SOFFIT PANELS, CLASS A











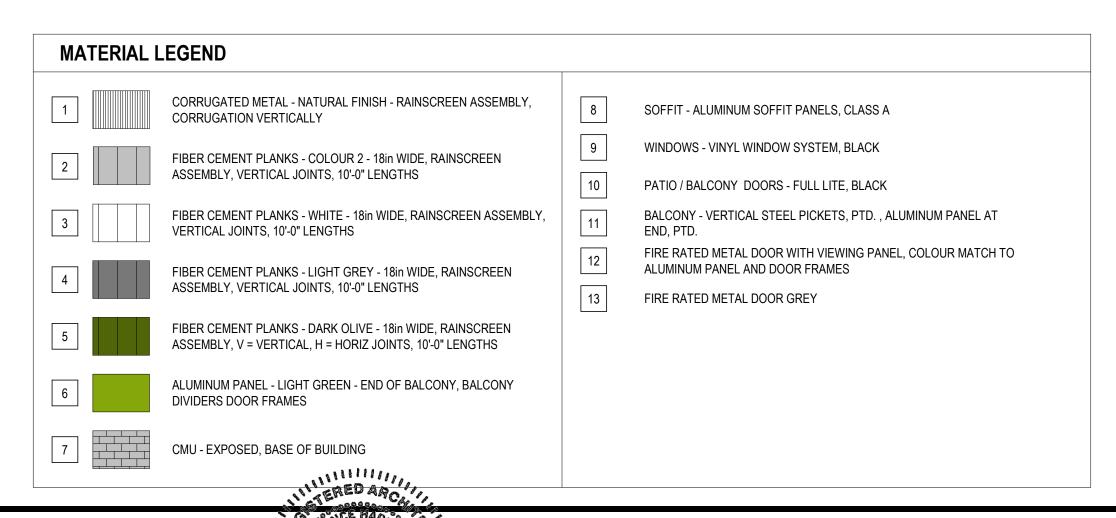


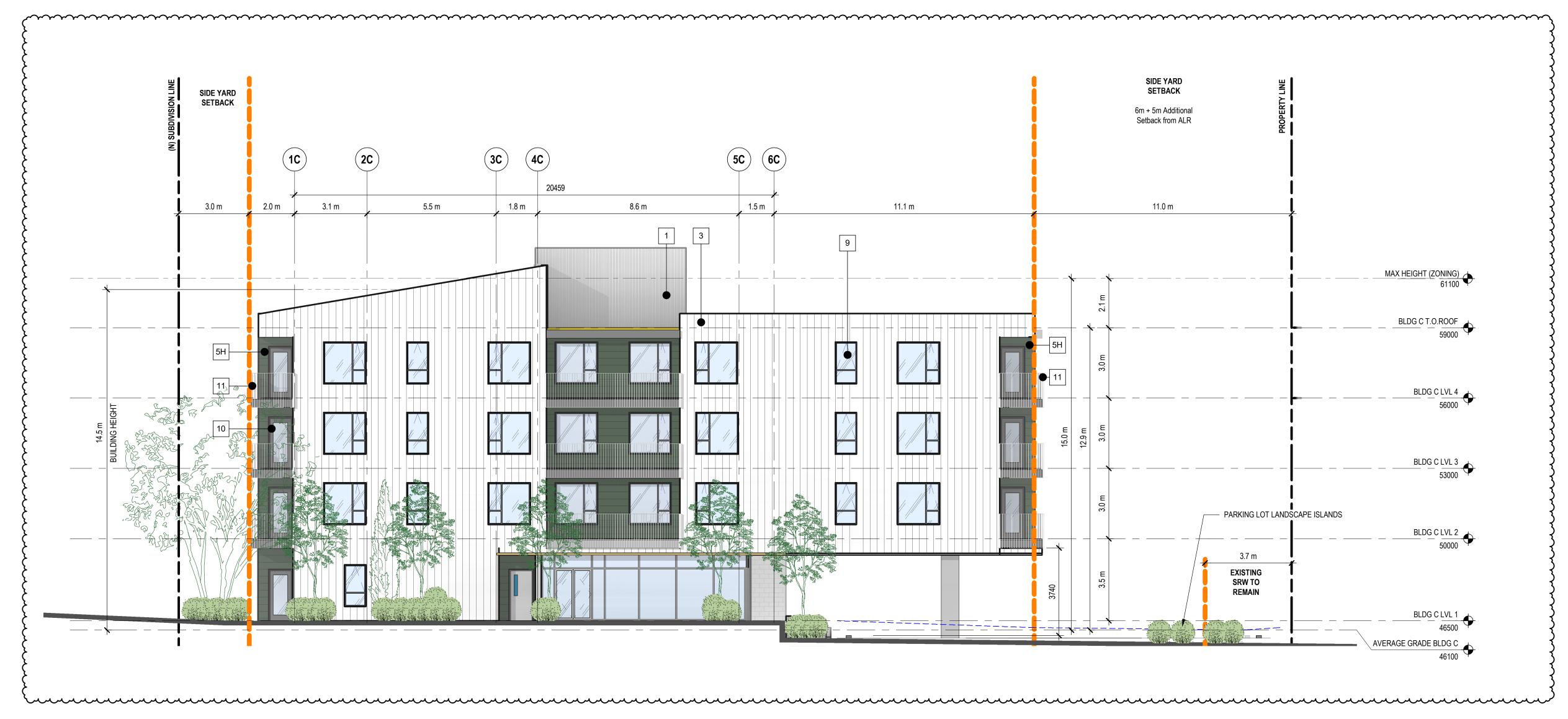
DP_BLDG A - EAST COURTYARD ELEV

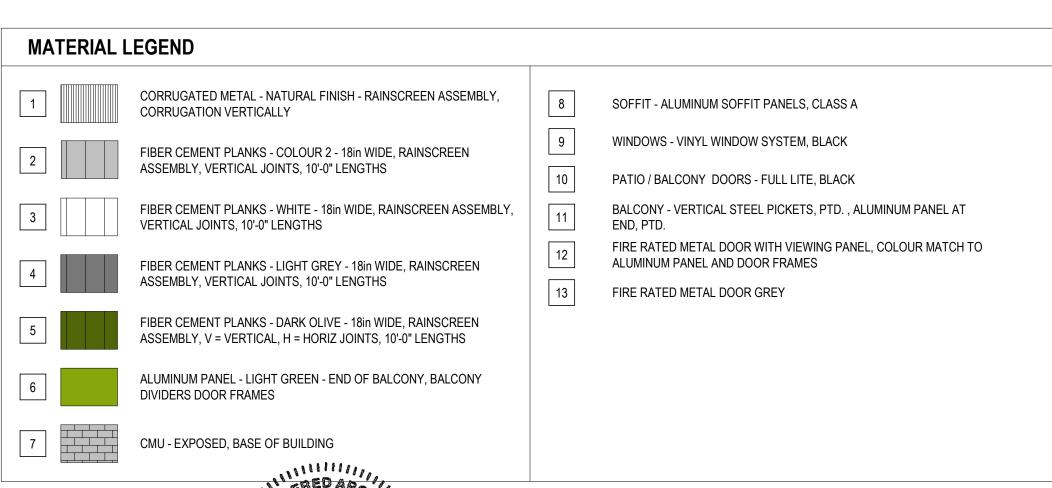
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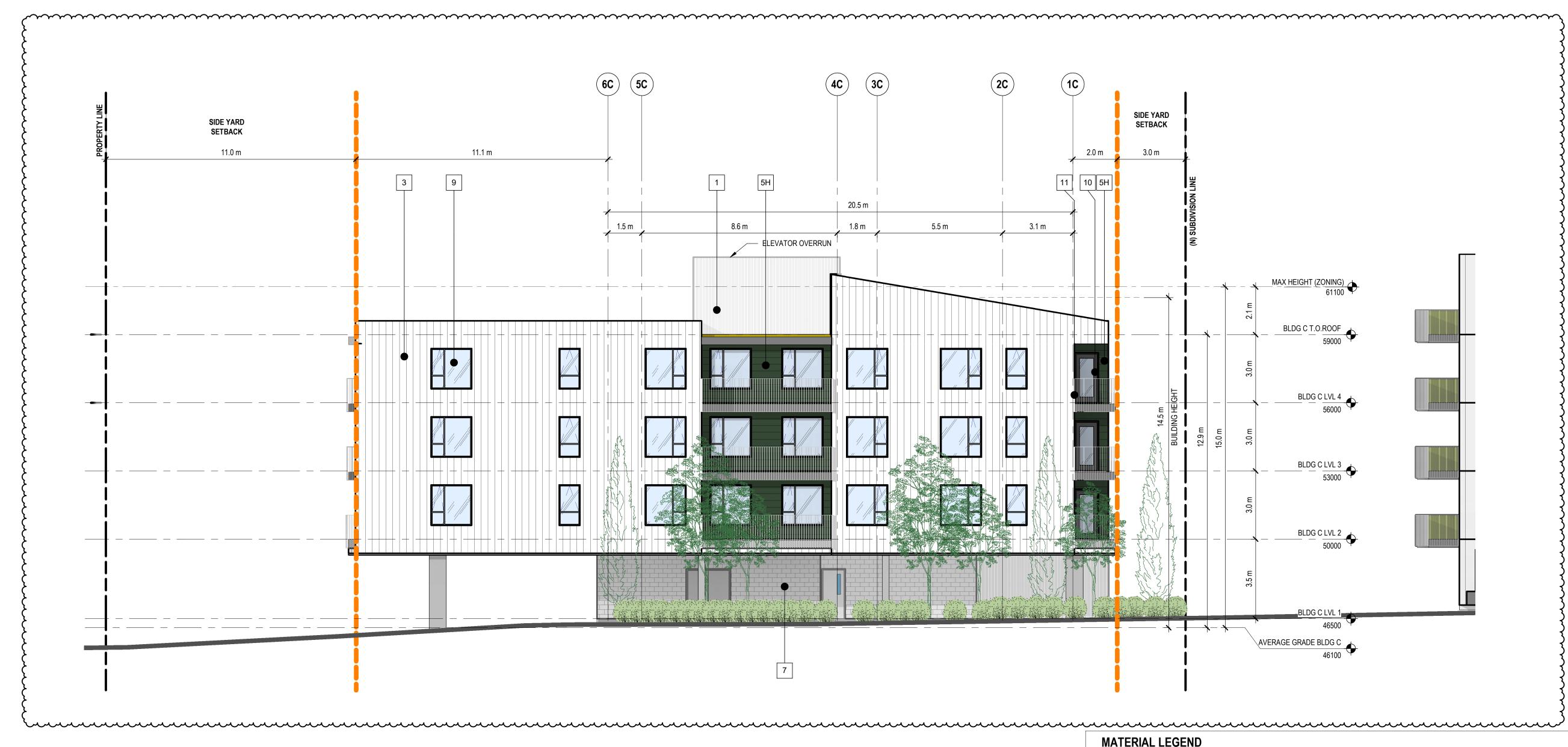
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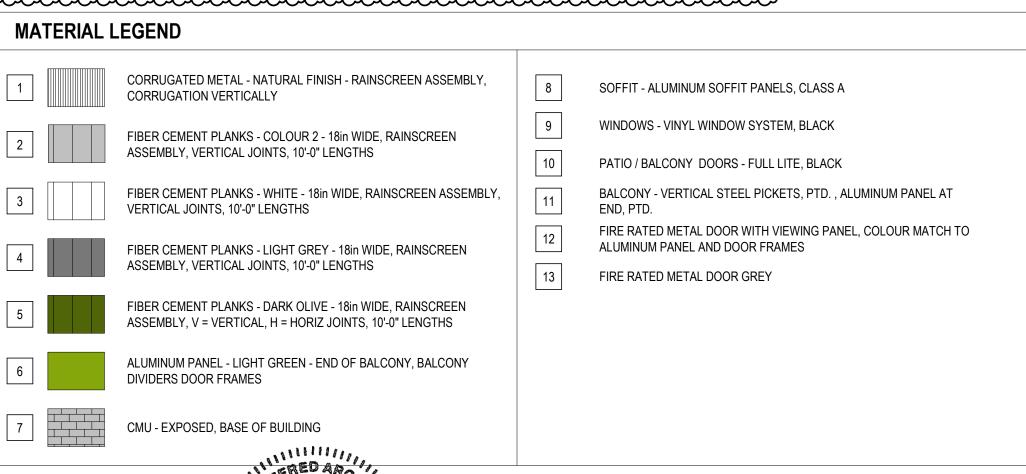




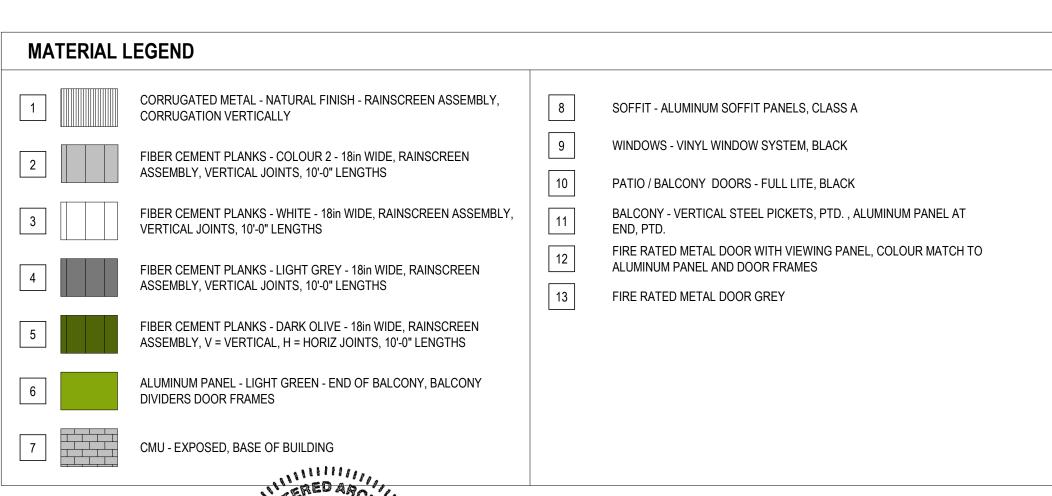






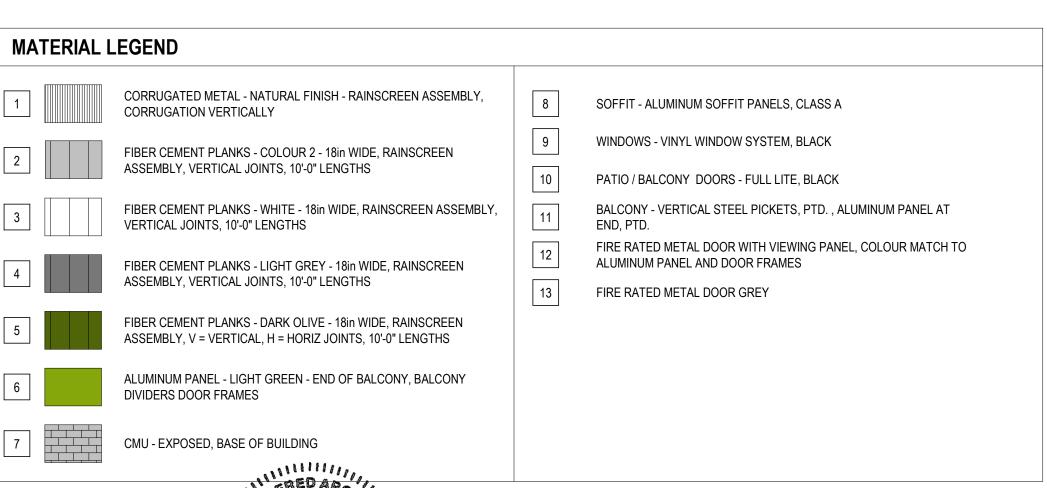
















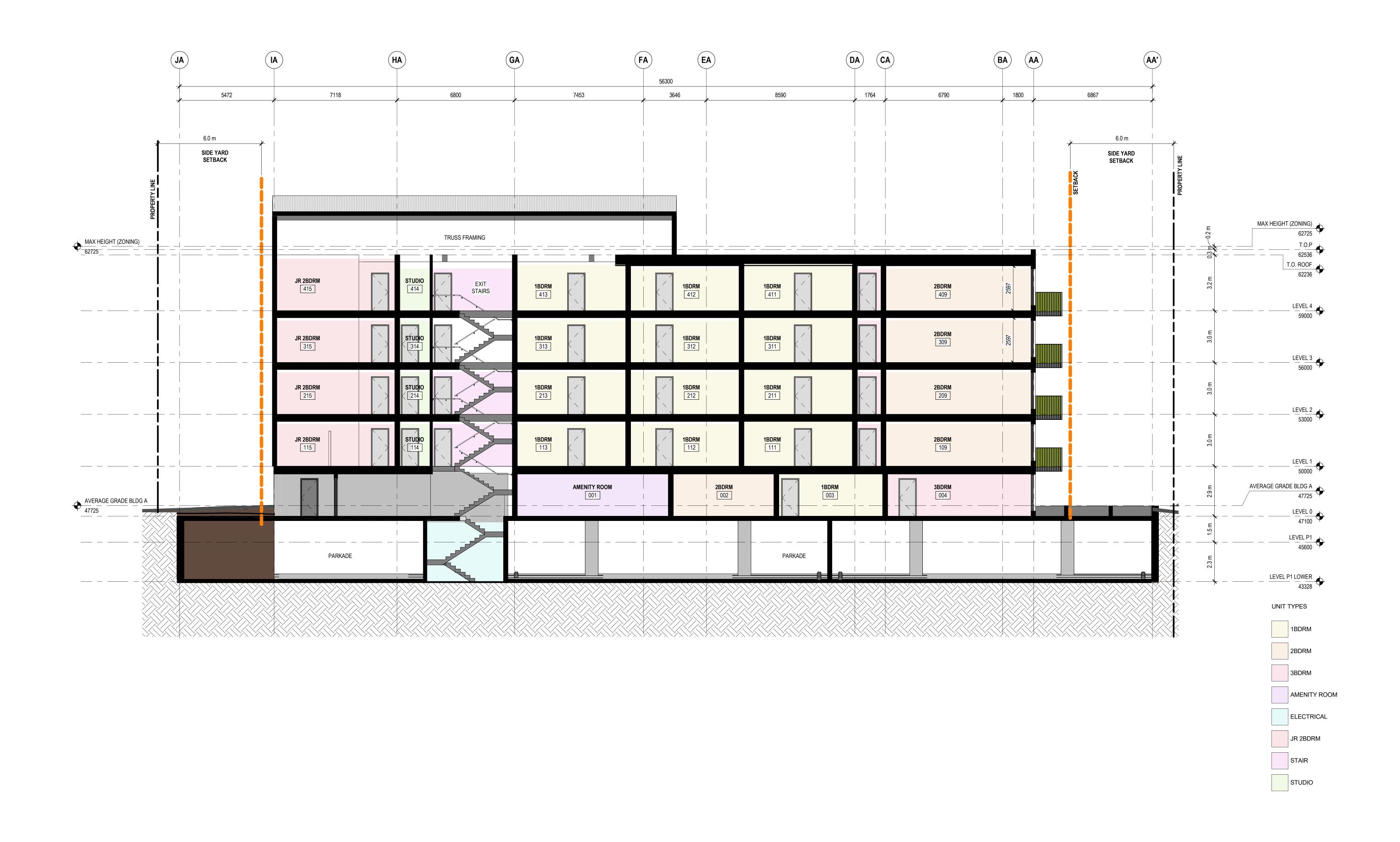
WEST - EAST SITE SECTION

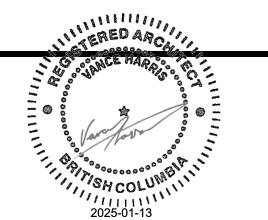
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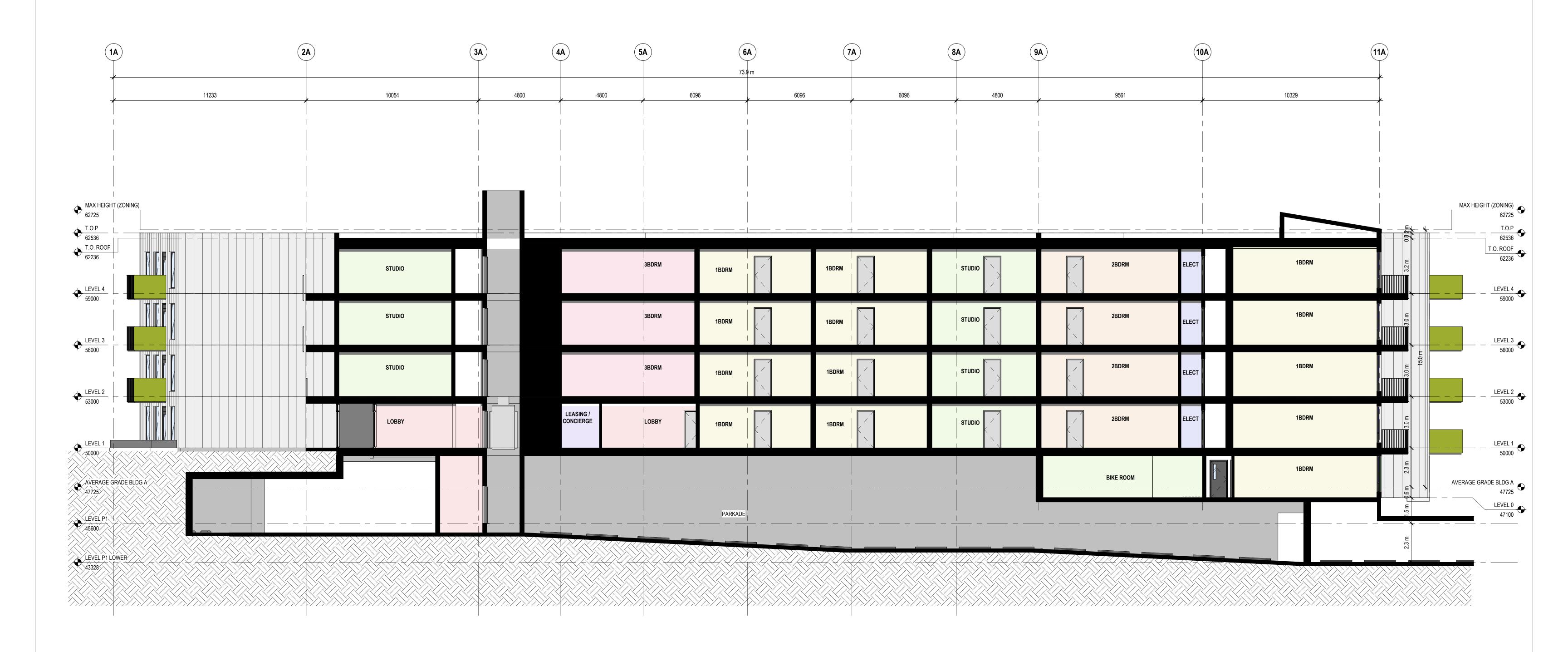


NORTH - SOUTH SITE SECTION - COUTYARD

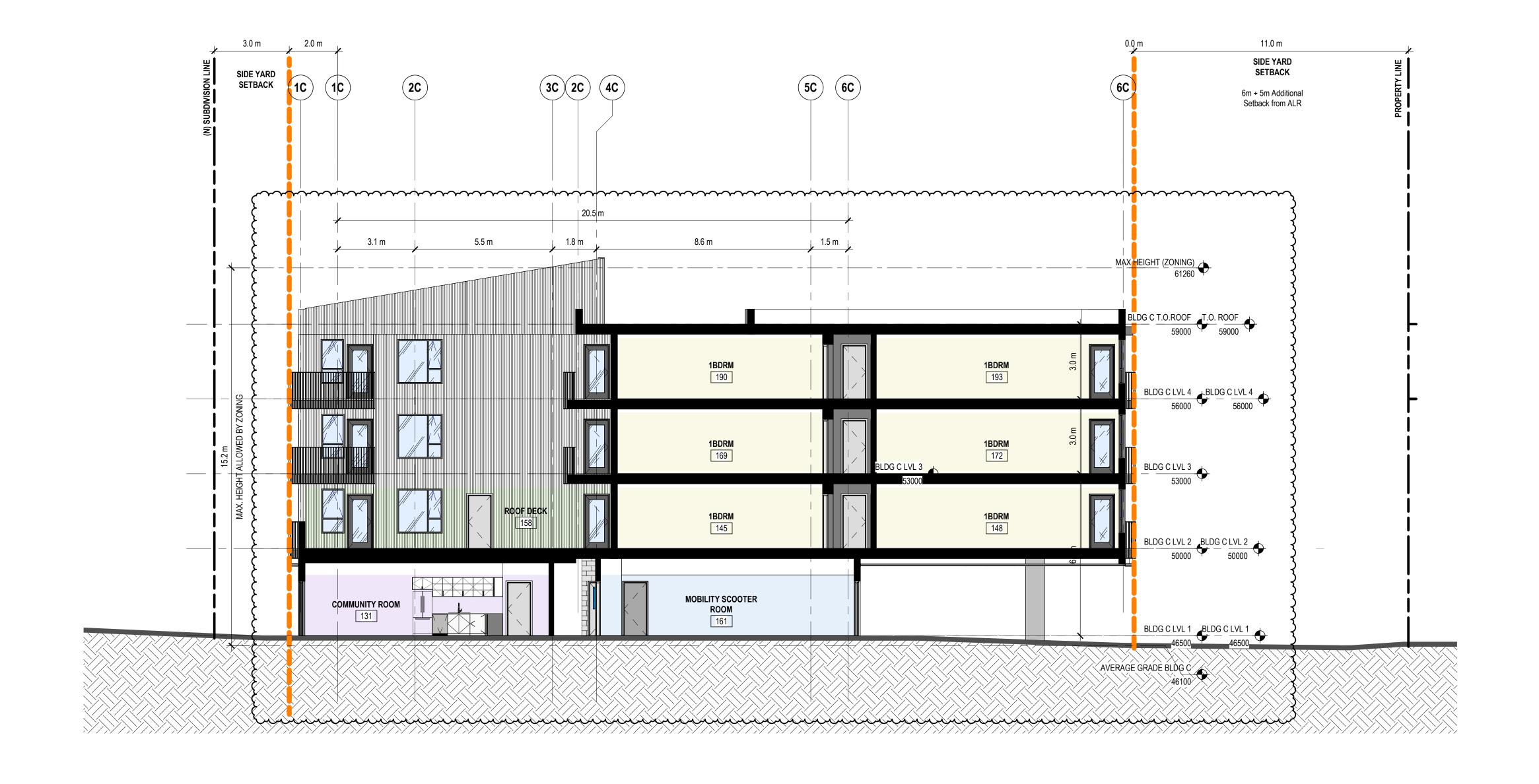
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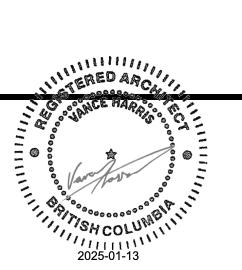


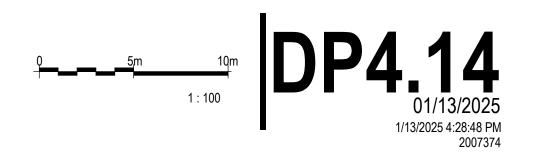












UNIT TYPES

COMMUNITY ROOM

ROOF DECK

MOBILITY SCOOTER ROOM

1934 HOVEY ROAD

7551 E. SAANICH RD AND 1934/1950/1960/1966 HOVEY RD. SAANICH, BC, V8M 1V8

LANDSCAPE ARCHITECTURE

RE-ISSUE FOR REZONING / DEVELOPMENT PERMIT JANUARY 13, 2025



HOVEY RD

DIALOG® ARYZE

DRAWING LIST - LANDSCAPE

- PLANTING PLAN
- DESIGN/BUILD IRRIGATION PLAN LANDSCAPE PLAN B&W CONCEPT SITE SECTIONS
- L3.0 CONCEPT IMAGE BOARD L3.1 SITE DETAILS

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KEYPLAN

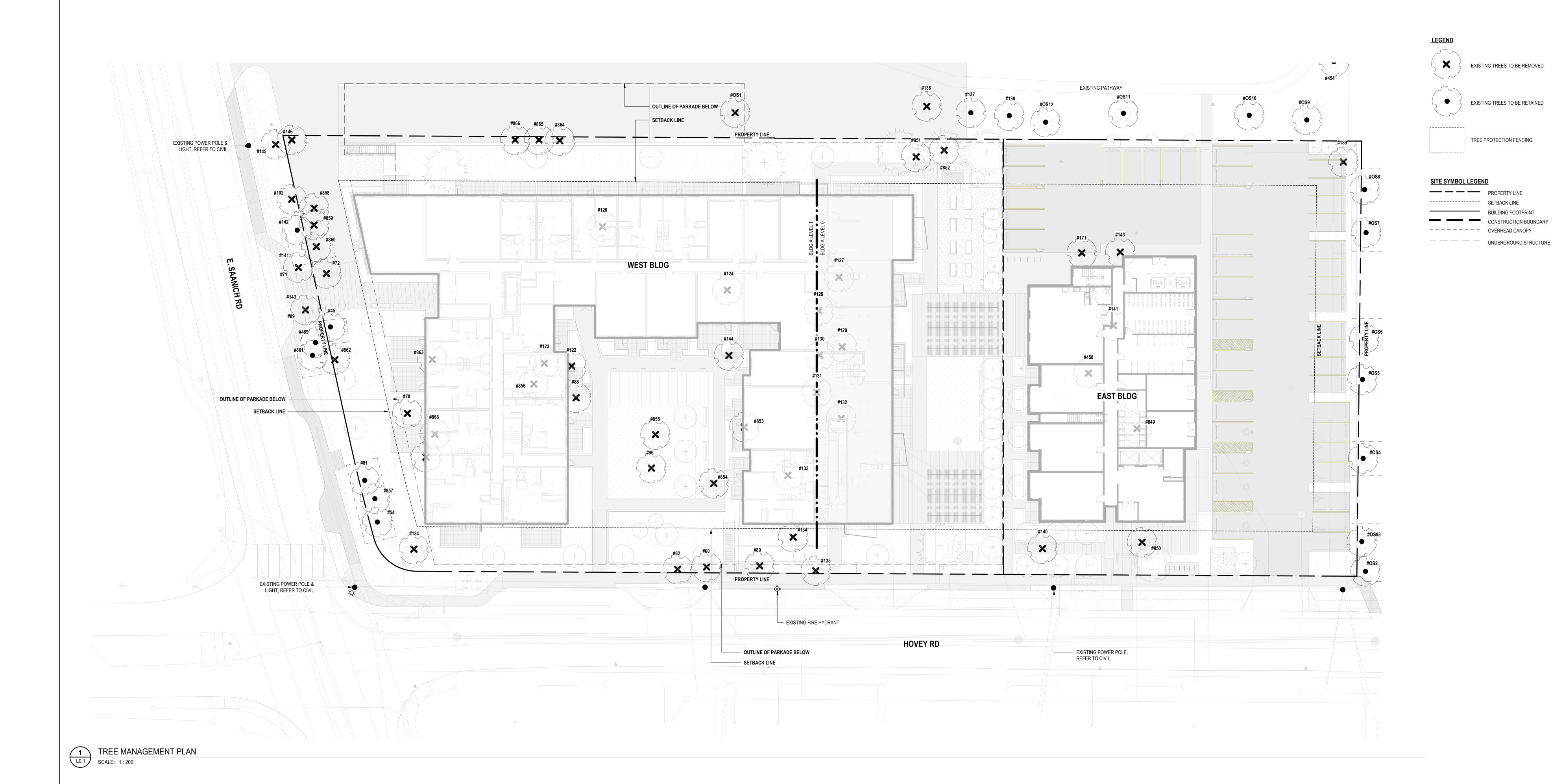
1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

COVER SHEET

DRAWN: KM/SS/JG PLOT DATE: 1/13/2025 2:48:39 PM

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KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

TREE MANAGEMENT PLAN

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L0.1

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TREE PROTECTION NOTES

1. Tree protection fencing must be built to standards shown here, or as listed in the Arborist Report. The dimensions shown are from the outer edge of the stem of the tree.

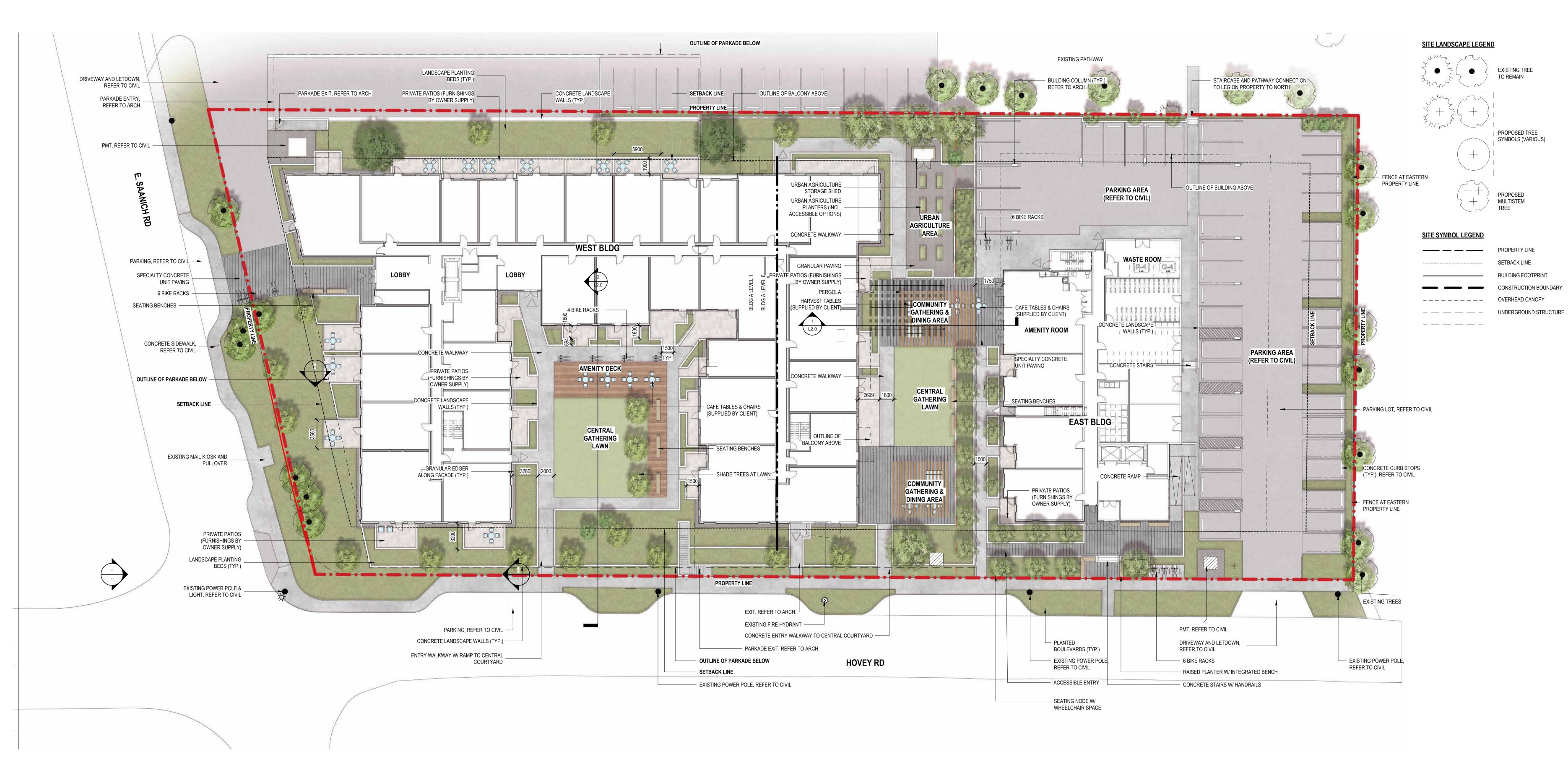
2. Tree protection zone shown is a graphic representation of the critical root zone, measured from the outer edge of the stem of the tree (1/2 the trees diameter was added to the graphical tree protection circles to accommodate the survey point being the center of the tree). Measurements as per the

3. Any construction activities or grade changes within or adjacent to the root protection zone must be approved by the project Arborist.

NOTE: TREE RETENTION LOCATIONS AND FENCING SHOWN IS CONCEPTUAL ONLY, AND WILL BE REFINED FURTHER THROUGH THE DESIGN DEVELOPMENT STAGE. ANTICIPATED CHANGES TO THE STREETSCAPES IN CONSULTATION WITH CITY PLANNING AND ENGINEERING DEPARTMENTS MAY ALSO FURTHER IMPACT NUMBER OF RETAINED TREES. TREE RETENTION FENCING AND METHODOLOGY TO BE DETERMINED BY ARBORIST

0m 4m 8m 12m 16m 20m

SCALE 1:200





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KEYPLAN

SEAL

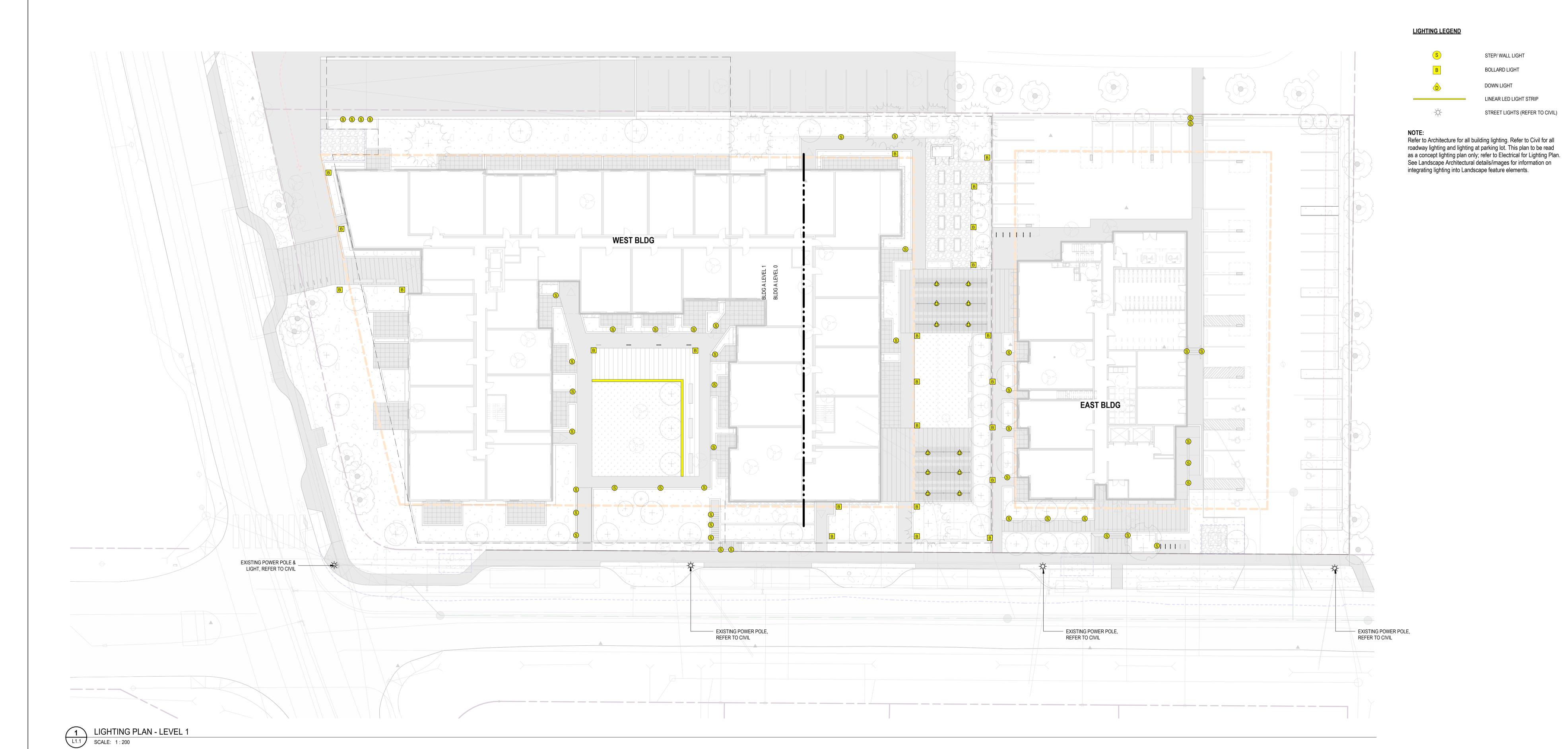
1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

RENDERED LANDSCAPE PLAN

DRAWN: Author PLOT DATE: 1/13/2025 2:48:43 PM

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KEYPLAN

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

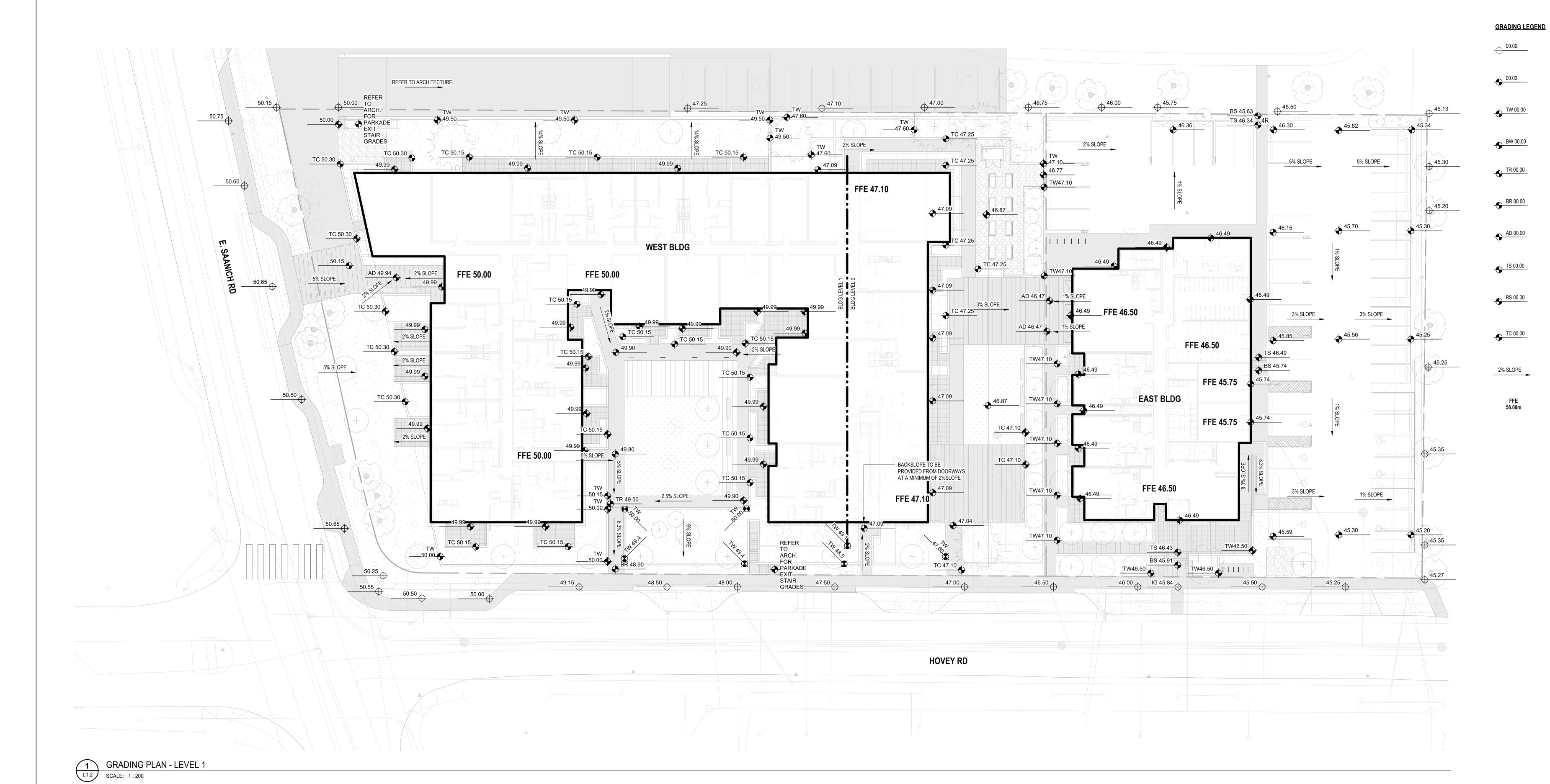
CONCEPT LIGHTING PLAN

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SCALE 1:200



ARYZE

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EXISTING GRADE

BOTTOM OF WALL

BOTTOM OF RAMP

TOP OF STAIRS

BOTTOM OF STAIRS

FINISHED FLOOR ELEVATION

DIALOG®

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KEYPLAN

SEAL

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

GRADING PLAN

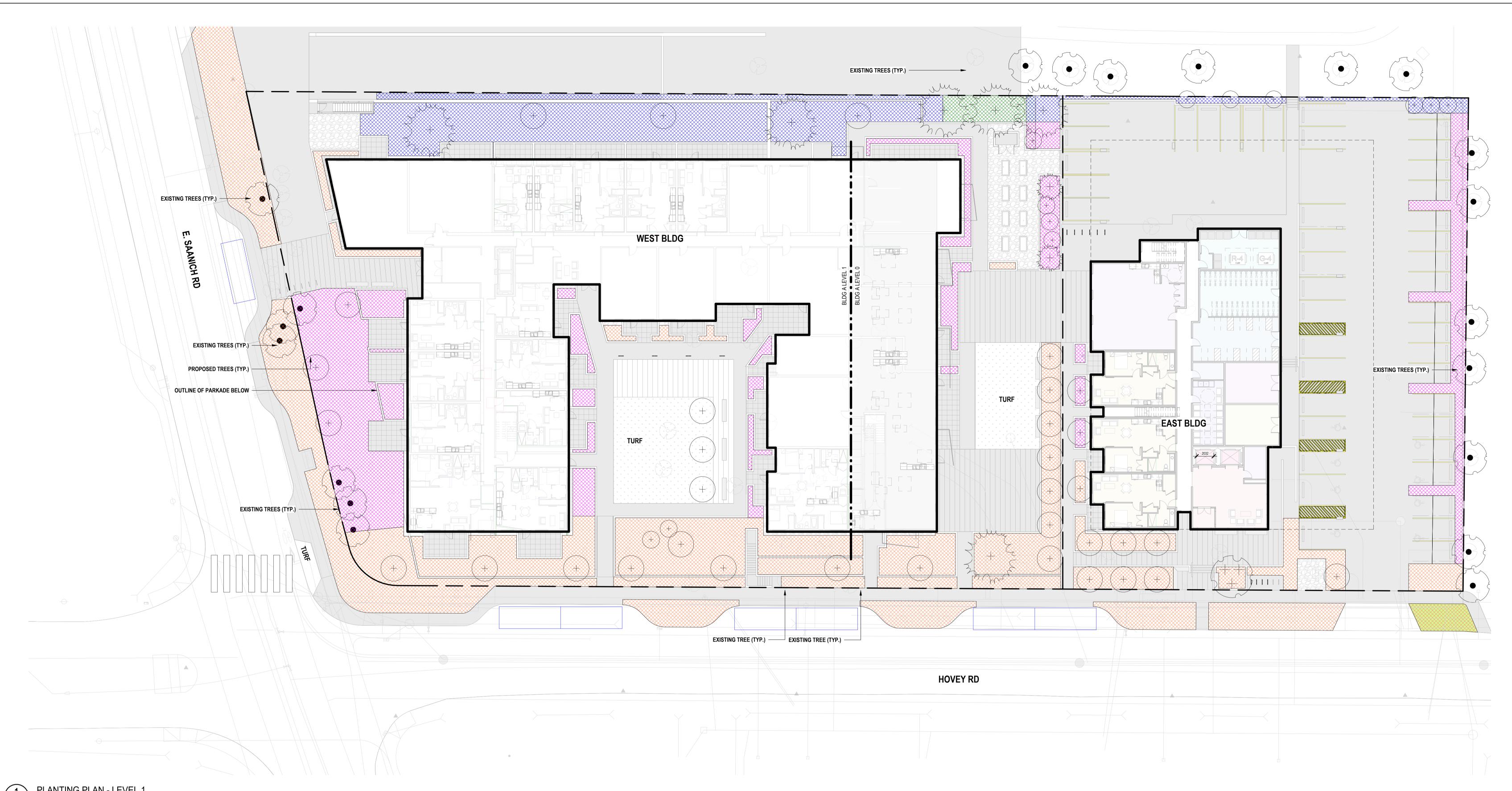
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L1.2

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0m 4m 8m 12m 16m 20m SCALE 1:200



PLANTING PLAN - LEVEL 1

SCALE: 1:200

FULL SUN, DRY/AVERAGE

KEY	B BOTANICAL NAME	COMMON NAME	SIZE	
DECI	DUOUS TREES			
AT	Acer truncatum x A. platanoides 'Warrenred'	Pacific sunset maple	6cm Cal	
CN	Cornus mus	Comelian cherry	6cm Cal.	
pp	Parratia persica 'Vanessa'	Persian Iromwood	6cm Cal.	
25	Zelkova serrata 'Green Vase'	lapanese zelkova	6cm Cal	
CON	FERQUS TREES			
PC	Pinus flexitis "Vanderwolf's Pyramid"	Vanderwolf's Pyramid limber pine	2000mm Ht.	
PM	Pseutastuga menziesii	Douglas Fir	2000mm Ht.	
DECI	DUDUS SHRUBS			
Cd	Caryopteris a clandonensis 'Dark Knight'	Dark Knight' bluebeard	42	
Ck	Cornus sericea 'Kelseyi'	Kelsey dogwood	#2	
Pf.	Potentilla fruticasa "Galdfinger"	Shrubby conquefull	#2	
Ris:	Ribes sanguineum 'King Edward VII'	Flowering current	#2	
56	Spiraea japonica	Japanese spiraea	1/2	
EVER	GREEN SHRUBS			
Lp.	Lankera pileata	Boxleaf honeysuckle	#2	
Ρm	Pinus mugo var. pumilia	Dwarf Mugo Pine	#2	
PERE	NNIALS			
ap.	Autor navare-anglior 'KICKIN Pink Chiffon'	New England aster	W2	
ep	Echinocea purpurea "White Swan"	White Swan' echinacea	WZ	
lp-	Lavandula x intermedia "Provence"	Provence' lavender	W2	
mb	Monardo bradouriana	Eastern beebalm	#2	
nř	Nepeto x foossenii 'Walker's Low'	Walker's Low' calmint	22	
65	Salvia x sylvestris 'May Night'	May Night' salvia	#2	
GRAS	ISES, RUSHES AND FERNS			
nt.	Nosselia tenuissima	Mexican Teather grass	#1	
50	Sesferia autumnalis	Autumn moor grass	#1	











FULL SUN, MOIST/WET

AB Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance serviceberry

Sargent crabapple

Japanese snowbell:

Western hemlack

Western red cedar

Red osier dogwood

Pink-A-Boo' deutzia

Dwarf arctic willow

Palible' Korean Illac

April Snow' weigeta

Evergreen Huckleberry

Common camas

Lenten Rose

Slough sedge

Tufted Hairgrass

Woodland strawberry

KEY # BOTANICAL NAME

SI Styrar japanicus

CONIFEROUS TREES

TP Thuja plicata

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

PERENNIALS

Gs Gaultheria shallan

Liq Comassio quantash

ha Helleborus orientalis

GRASSES, RUSHES AND FERNS

dc Deschampsia cespitasa 'Goldtou'

fv Fragarin wesca

co Corex donupto

Es Cornus stolomfera

De Deutzia Pink-A-Boo'

Sp Salar purpurea 'Nana'

Sim Syringa meyeri "Palibin"

Wp Weignla proecox 'April Snow'

Vo. Vaccinium ovatum Thunderbird

TH Tsuga neterophylla

MT Malus toringo ssp. sorgentii

DECIDUOUS TREES



SIZE SPACING

6cm Cat 8m

6cm Cal. 4m

6cm Cal. 6m

2000mm Ht. Bm

2000enm Ht. Bm

0.25m



PART SHADE, DRY/AVERAGE

COMMON NAME

Three flowered maple

Columnar hombeam

6cm Cal. 3m

6cm Cut 6m

6cm Call. 3m

2000mm Ht. 4.5m

2000mm Ht. 4.5m

As Noted

Vine maple

Yellow cedar

Beauty bush

Witch hazel

Ocean spray

Dwarf ross

Flowering currant

Japanese Spurge

Nodding onion

Hakone grass

Western swordfern

Triandrus daffodil

Western buttercup

Sweet box

Hinokl falsecypress

KEY # BOTANICAL NAME

DECIDUOUS TREES

AC Acer circinatum

AT Acer trifforum

CONIFEROUS TREES

DECIDUOUS SHRUBS

Ke Kolkwitzia amabilis

Hd Holadiscus discolar:

Re Roso gymnucarpa

Pt Pachysandra terminalis

Se Samoucca ruscifol/a

EVERGREEN SHRUBS

ac Allium cernuum

hd Norcissus Tholia'

hm: Hakanechlog macra

pm Polysticum munitum

ro Ranuculus occidentalis

GRASSES, RUSHES AND FERMS

CN Cupressus nootkatensis

CO Diamoscyparis obtasa

CB Corpinus betulus 'Frans Fontaine'

HI Hamaroelis x Intermedia 'Arnold Promise'

Rs Ribes sanguineum 'King Edward VII'





PART SHADE, MOIST/WET

Sd Symphoricarpas « doorenbasii 'Kardes' Amethyst. Coral berry

COMMON NAME

Rocky mountain maple.

Royal Star magnotia

Western hemlock

black chokeberry

Wild gooseberry

Golf Oregon Grape

David siburnum

Hybrid hellebore

Deer form

Halione grass

Springbank clover

Woodland strawberry

Salmonberry

Orange boneysuckle

Western red cedar

Vine maple

SIZE SPACING

· Ecm Call 3m

6cm Cal. 3m

Scm Cal 6m

2000mm Ht; Bm

2000mm Ht. 8m

#2 0.45m

#1 0.25m

#1 0.25m

#2 0.6m

KEY # BOTANICAL NAME

AC Acer circinatum

MS Magnalia stellato 'Royal Ster'

Am Aronia melanocarpa 'Autumn Magic'

hin Helleborus × nigercars 'Snow Love'

AG Acer glabrum

CONIFEROUS TREES

TP Thuja plicata

DECIDUOUS SHRUBS

Lc Lonicera cillosa

Rd Ribes divaricatum

Rs Rubus spectabilis

EVERGREEN SHRUBS

Min Mahania nervosa

Vd Viburnum davidii

fy Fragana vesca

tw Trifolium warmskioldii

GRASSES, RUSHES AND FERNS

bs. Blechnum spicont

hnt Hakonechloa murra

TH Tsuga heterophyllo

DECIDUOUS TREES



PLANTING AREA TOTALS

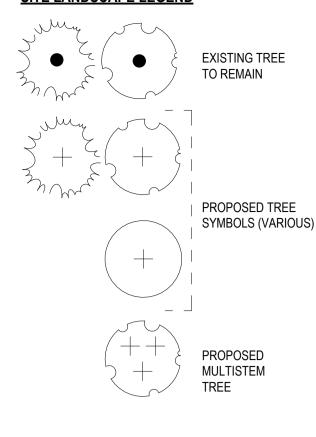








SITE LANDSCAPE LEGEND



SITE SYMBOL LEGEND

_ _ _ _ _ _ _ _

 PROPERTY LINE
 SETBACK LINE
 BUILDING FOOTPRINT
 CONSTRUCTION BOUNDARY
 OVERHEAD CANOPY
 UNDERGROUND STRUCTURE

SCALE 1:200

1) Contractor to organize a project pre-construction meeting prior to any landscape construction work. Meeting to include the project Landscape Contractor, the project Architect, and a client representative. 2) All plant material used in this project must first be inspected/approved by the

project Landscape Architect at the nursery, and (if desired) by a representative of the client before installation. 3) Contact project Landscape Architect to confirm tree types prior to purchase. 4) Minimum depth for all shrub beds to be 450mm, groundcover areas to be 300mm, and trees to be 600mm larger than rootball (min. 900mm, tree trenches 1200mm). 5) All planting to be done to Canadian Landscape Standard, latest edition. The project Landscape Architect has the right to refuse any or all of the selected plant material if it does not

meet current Canadian Landscape Standards or Canadian Nursery Stock Standards.

7) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable. 8) Contractor is responsible to obtain and be familiar with the relevant project

specifications. 9) As a minimal acceptable standard: a) Sizes on the plant list shall be considered minimum sizes. b) Root balls to be free of pernicious weeds.

6) All planting beds to have 75mm mulch as specified.

10) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death); removal and replacement of plant material found to contain the virus to be at the contractor's expense. 11) The contractor shall supply all plant materials shown on all drawings.

12) No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting. 13) Container grown stock shall have the container removed and the rootball be cleanly scored in two vertical locations. 14) New top soil should be incorporated by mixing into top 300mm of native soil where appropriate. 15) Contractor to provide Landscape Architect a copy of all packing slips received

from nursery listing names and quantities of all plant stock supplied. 16) The contractor shall locate and verify the existence of all utilities prior to starting 17) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary. 18) The landscape contractor shall refer to the contract specifications for additional requirements prior to and during establishment maintenance period. 19) Plant Search area to include BC, WA, OR, & CA as appropriate.

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MECHANICAL ENGINEER

VICTORIA, BC, V8W 1S6 KEYPLAN

530 HERALD STREET,

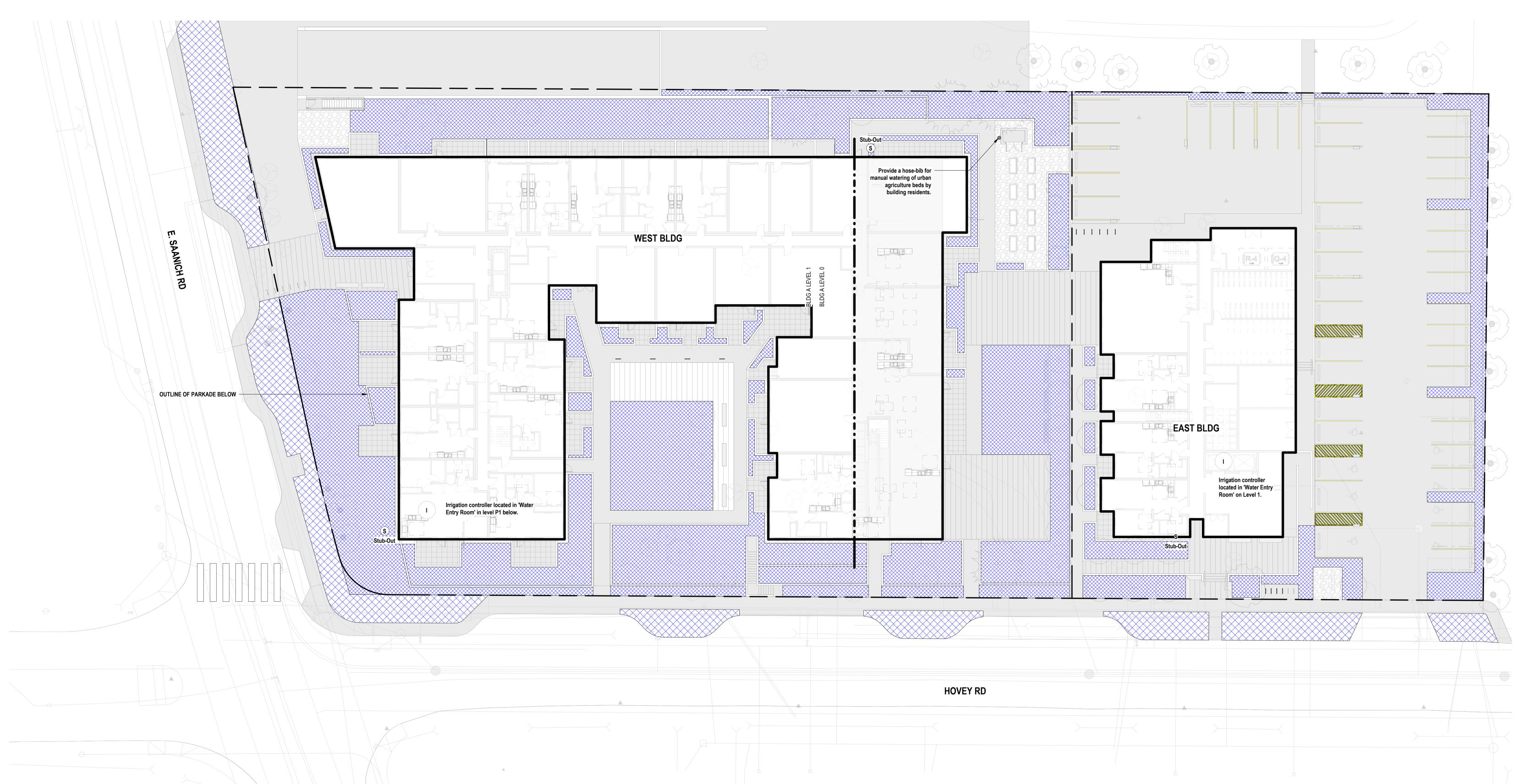
1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

PLANTING PLAN

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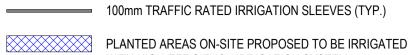


1 IRRIGATION PLAN - LEVEL 1

L1.4 SCALE: 1:200

IRRIGATION LEGEND

- IRRIGATION CONTROLLER
- PROPOSED 38mm STUBOUTS (MIN. 50GPM @ 70PSI)



WITH HIGH-EFFICIENCY IRRIGATION SYSTEM

OFF-SITE AREAS PROPOSED TO BE IRRIGATED WITH HIGH-EFFICIENCY IRRIGATION SYSTEM NOTE: REFER TO MECHANICAL FOR ALL HOSE-BIB LOCATIONS

IRRIGATION NOTES

- 1) On-site system to be on a separate circuit from any required off-site irrigation systems. 2) The Irrigation Contractor shall confirm on site the locations of the stub-outs provided by the Mechanical contractor. See plans. 3) The Electrical contractor shall supply 120v outlets for the controllers and run 38mm conduits with pull
- strings to all stub-out locations. See plans. 4) The Irrigation Contractor shall supply and install the irrigation controllers and run all low voltage wires to the solenoid valves. 5) The Irrigation Contractor shall coordinate all sleeves, conduits, and locations of sensors with the
- general contractor. 6) The irrigation system shall be installed as per IIABC standards or better. 7) Double check valves, back flow preventers, filter, and a blow-out connection in water entry rooms, and the running of a 38mm supply line to all stub out locations, by Mechanical. See plans.
- 8) Irrigation Contractor to supply rain sensors, solar strength, and temperature collectors, and determine locations on site. Use in conjunction with a soil water sensor located in a full sun roof area. 9) No drip irrigation unless otherwise indicated. 10) Irrigation valves to be located in planting beds. Each to have a flow sensor for proper zone flows. 11) The Irrigation Contractor to submit shop drawings for approval prior to installation.
- 12) The Irrigation Contractor to provide submittals for all irrigation components for approval prior to 13) The Irrigation Contractor to provide as-built drawings following construction.14) Keep all irrigation piping out of tree rooting zones.
- Rain Bird RD1800 series w/ SAM, PRS, and Flow-Shield or equivalent. Nozzles to be minimum Rain Bird R-VAN high efficiency nozzles, capable of applying water at or less than 13mm per hour, or equivalent. Bubblers to be minimum Rain Bird 1400 Series or equivalent. Driplines to be minimum Rain Bird XFS-CV or equivalent. Valves to be minimum two-way communicating Rainbird PEB series or equivalent. Controllers to be two-way communicating, minimum ESP-LXIVM Controller System. Sensors to be minimum Rain Bird WR2-RFC-48 rain/freeze sensor, Rain Bird ANEMOMETER wind sensor, and SMRT-Y soil sensors or equivalent. 17) Drip irrigation shall not be used except in special circumstances as determined by Client. If required, drip irrigation areas to be on separate coverage from other areas. Use risers in shrub areas and direct spray away from hard surfaces and lawn edges.

15) All irrigation components to be manufactured by Rainbird or equivalent. Spray heads to be minimum

- 18) All irrigation areas to be head to head coverage. 19) Irrigation coverage to be broken out into separate zones for each major area allowing for individual control as necessary.
- 20) Irrigation system to be blown-out in winter months. 21) Urban agriculture planters maintained by building residents are waterable by a hose-bib and not to receive permanent irrigation.

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KEYPLAN

1934 HOVEY ROAD

7551 E. Saanich Rd and 1934/1950/1960/1966 Hovey Rd. Saanich, BC, V8M 1V8

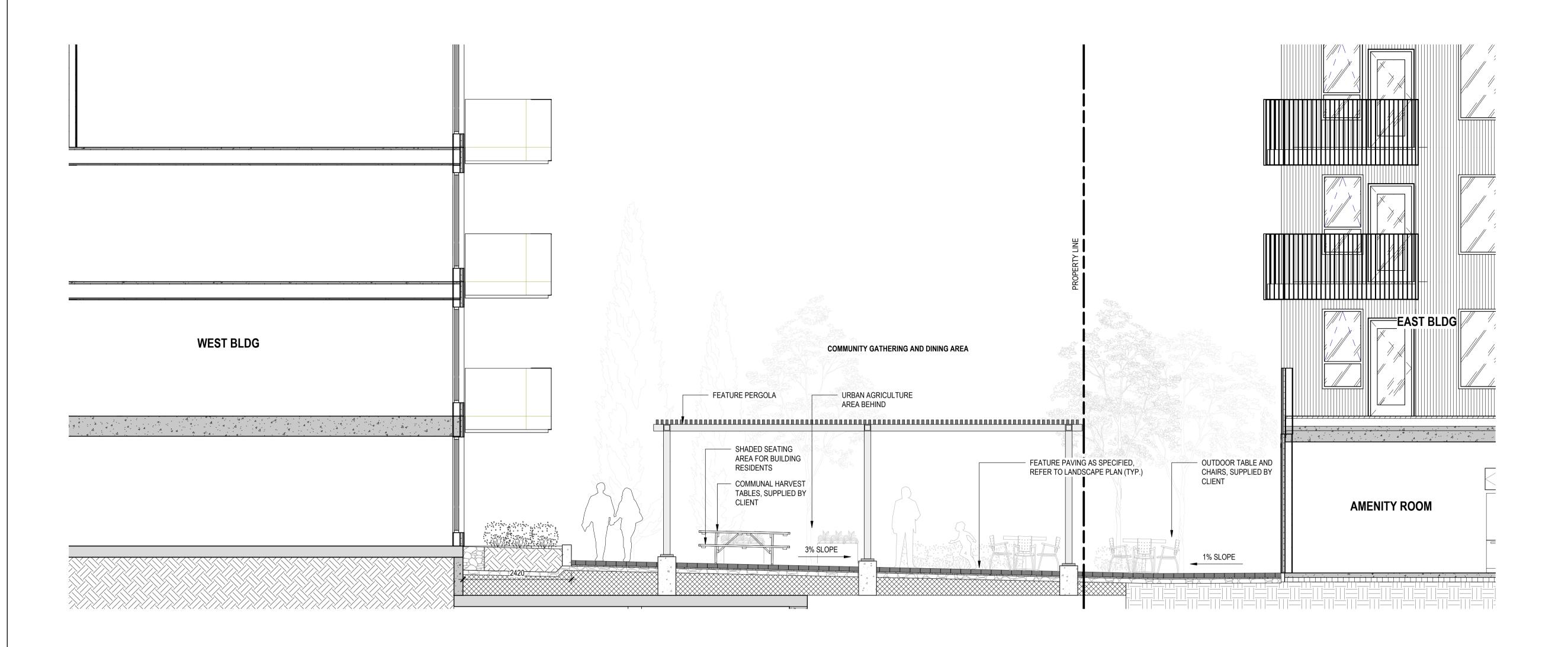
DESIGN/BUILD **IRRIGATION PLAN**

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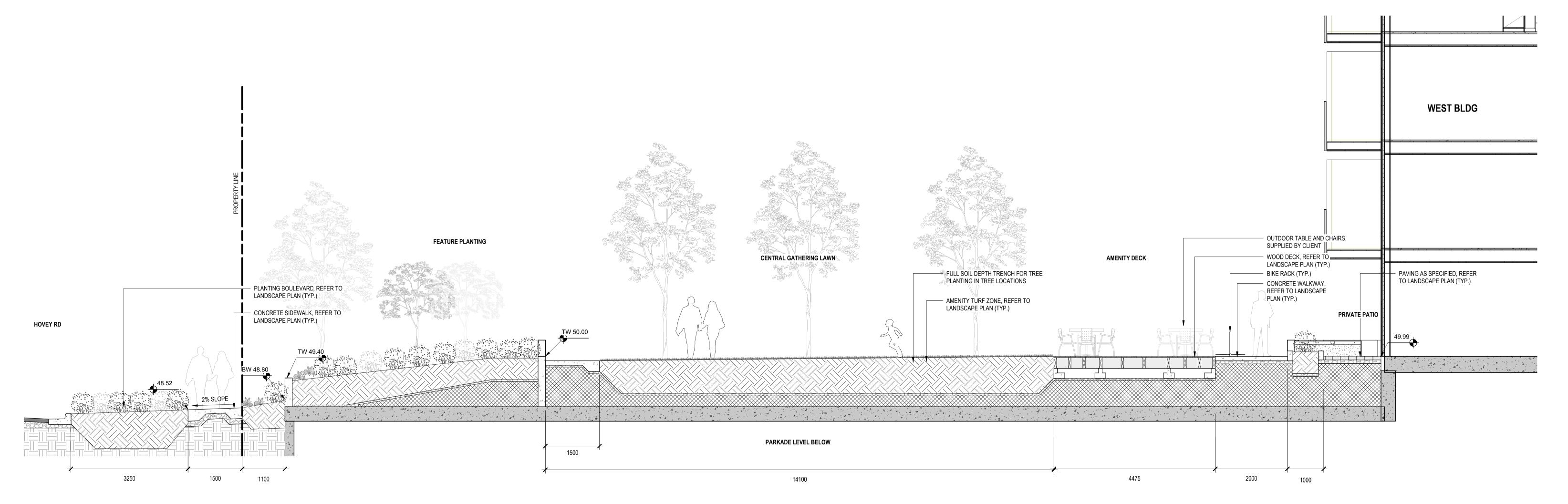
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SCALE 1:200



COMMUNITY GATHERING AND DINING AREA

SCALE: 1:50



2 GATHERING AND DECK SPACE
L2.0 SCALE: 1:50

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METRIC

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SEAL

1934 HOVEY ROAD

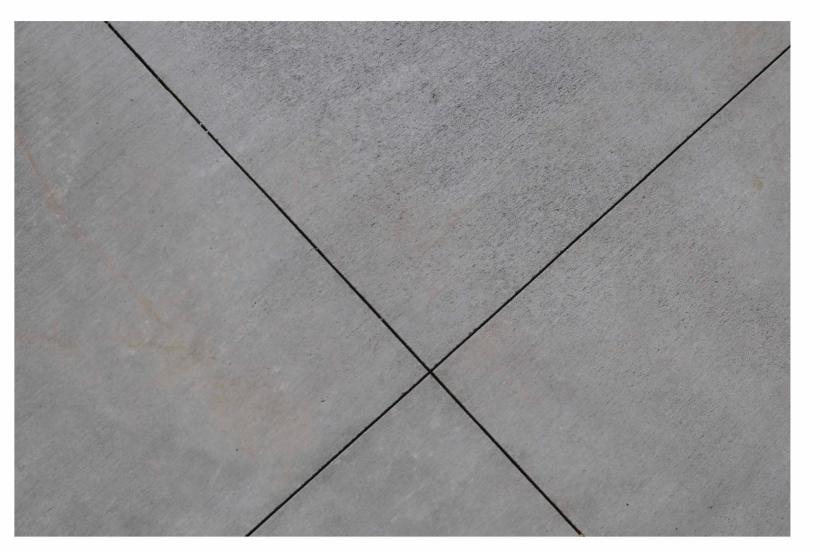
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CONCEPT SITE SECTIONS

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1 SAWCUT CONCRETE





3 CAFE TABLES & CHAIRS



4 STEEL AND WOOD BENCHES



5 WASTE/RECYCLING RECEPTACLE



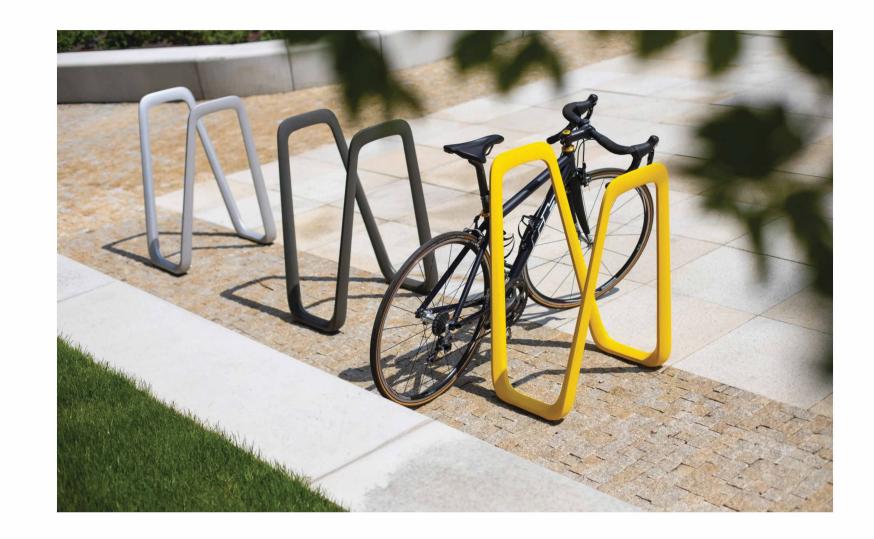
6 RAISED URBAN AGRICULTURE BEDS



7 ACCESSIBLE URBAN AGRICULTURE TABLES



8 HARVEST TABLE SEATING OPTIONS

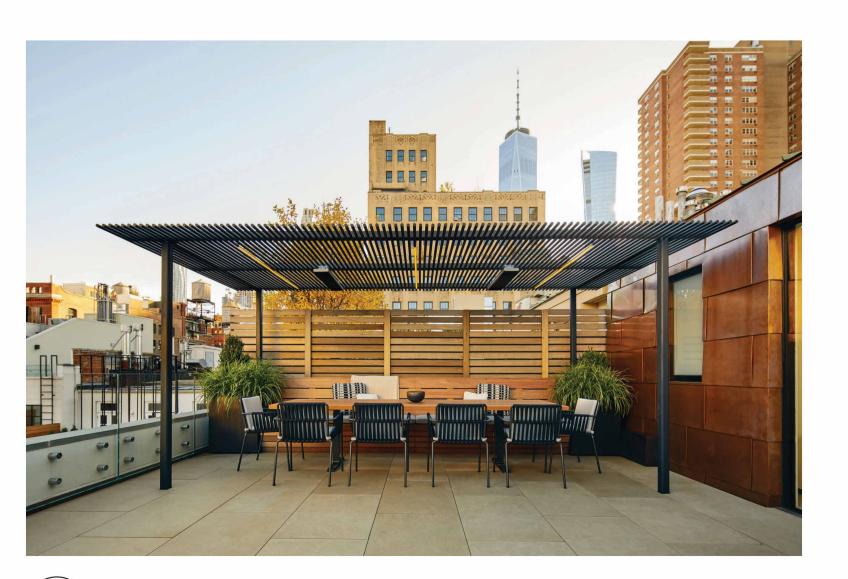




10 OUTDOOR BBQ & FOOD PREPARATION



11 BOLLARD LIGHT



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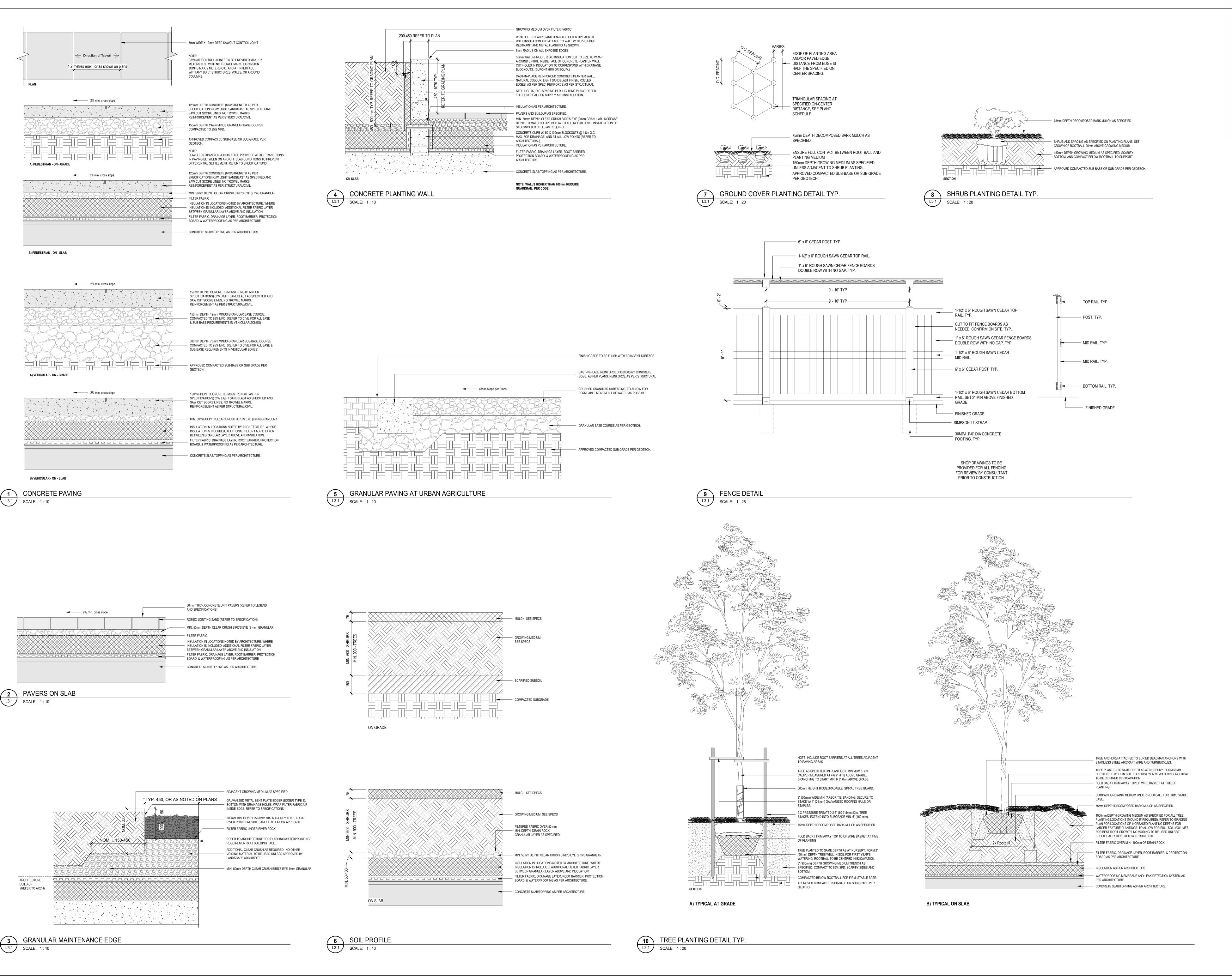
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CONCEPT IMAGE BOARD

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