



# SHADY CREEK CHURCH

ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
FINLAYSON BONET ARCHITECTURE LTD. #4 - 7855 EAST SAANICH ROAD, SAANICHTON, BC V8M 2B4 PHONE: 250-656-2224 ARCHITECT OF RECORD: SILVIA BONET, ARCHITECT AIBC	SKYLINE ENGINEERING 380 - 4243 GLANFORD AVENUE, VICTORIA, BC V8Z 4B9 PHONE: 250-590-4133 ENGINEER OF RECORD: CORD MACLEAN, P.ENG., LEED AP, P. ENG	WEIR DESIGN & ENGINEERING INC. 3309 KEATS STREET, VICTORIA, BC V8P 4B2 PHONE: 250-590-2717 ENGINEER OF RECORD: JASON WEIR, P.ENG., LEED AP	PARALLEL ENGINEERING LTD. 5056 CORDOVA BAY ROAD, VICTORIA, BC V8Y 2K4 PHONE: 250-514-9259 ENGINEER OF RECORD: STEVE COOKE, P. ENG.

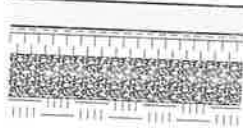

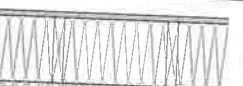
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**NOVEMBER 30, 2023**

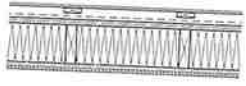






















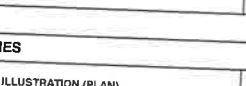



FLOOR ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
F1		<b>CONCRETE SLAB ON GRADE</b> <ul style="list-style-type: none"> <li>• 100mm REINFORCED CONCRETE SLAB ON GRADE</li> <li>• 6mm POLYETHYLENE VAPOUR BARRIER</li> <li>• R15 (150mm) RIGID INSULATION</li> <li>• 300mm COMPACTED GRAVEL FILL</li> <li>• BEARING SOIL</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• EXTEND RIGID INSULATION 1220mm IN FROM FOUNDATION WALL.</li> </ul>				
F2		<b>ATTIC FLOOR ASSEMBLY</b> <ul style="list-style-type: none"> <li>• 19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• PRE-ENGINEERED ATTIC TRUSSES WITH 38x235 BOTTOM CORD @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>• BATT INSULATION TO FILL CAVITY</li> <li>• 16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
F3		<b>BELL TOWER FLOOR ASSEMBLY 1</b> <ul style="list-style-type: none"> <li>• 19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x190 FLOOR JOISTS @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>• BATT INSULATION TO FILL CAVITY</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 13mm GYPSUM CEILING BOARD</li> </ul>				

WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
W1		<b>EXTERIOR WALL 1</b> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING</li> <li>• 19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>• SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>• 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>• 140mm (R22) BATT INSULATION</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>				
W2		<b>EXTERIOR WALL 2</b> <ul style="list-style-type: none"> <li>• FIBRE CEMENT PANEL SIDING W/ EASYTRIM REVEALS</li> <li>• 19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>• SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>• 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>• 140mm (R22) BATT INSULATION</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>				
W3		<b>BELL TOWER WALL</b> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING</li> <li>• 19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>• TYPAR BUILDING PAPER</li> <li>• 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>• 16mm PLYWOOD SHEATHING</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>• 13mm PLYWOOD ON INTERIOR FACE OF ASSEMBLY FOR LADDER SUPPORT.</li> </ul>				
W4		<b>EXTERIOR WALL 3</b> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING</li> <li>• 19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>• SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>• 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>• 140mm (R22) BATT INSULATION</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm TYPE 'X' GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>	1.0 HR F.R.R.	BCBC 2018 (Table 9.10.3.1-A) EW1a		

FOUNDATION WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
FD1		<b>FOUNDATION WALL 1</b> <ul style="list-style-type: none"> <li>• 150mm REINFORCED CONCRETE FOUNDATION WALL WITH A 400mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> <li>• SELF-ADHERED SBS WATERPROOF MEMBRANE</li> <li>• POLY PROPYLENE DRAINAGE MAT</li> <li>• DRAIN ROCK</li> <li>• FILTER FABRIC</li> <li>• CLEAN BACKFILL</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
FD2		<b>FOUNDATION WALL 2</b> <ul style="list-style-type: none"> <li>• EXISTING CONCRETE FOUNDATION WALL</li> <li>• 60mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL</li> <li>• 200mm REINFORCED CONCRETE FOUNDATION WALL WITH A 300mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> </ul>				
FD3		<b>FOUNDATION WALL 3</b> <ul style="list-style-type: none"> <li>• 150mm REINFORCED CONCRETE FOUNDATION WALL WITH A 400mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> </ul>				

ROOF ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
R1		<b>ROOF ASSEMBLY 1</b> <ul style="list-style-type: none"> <li>• ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>• #15 FELT UNDERLAY</li> <li>• 16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• PRE-ENGINEERED SCISSOR TRUSSES @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>• R14 BATT INSULATION BETWEEN BOTTOM CORD OF TRUSSES WITH R40 BLOWN IN INSULATION ABOVE</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm GYPSUM CEILING BOARD</li> </ul>			8.499 RSI (R48.2)	
R2		<b>ROOF ASSEMBLY 2</b> <ul style="list-style-type: none"> <li>• ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>• #15 FELT UNDERLAY</li> <li>• 16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• PRE-ENGINEERED ATTIC TRUSSES @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>• R14 BATT INSULATION BETWEEN BOTTOM CORD OF TRUSSES WITH R40 BLOWN IN INSULATION ABOVE</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM CEILING BOARD FOR GYPSUM CEILING BOARD.</li> </ul>			8.499 RSI (R48.2)	
R3		<b>ROOF ASSEMBLY 3</b> <ul style="list-style-type: none"> <li>• ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>• #15 FELT UNDERLAY</li> <li>• 16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 40mm x 90mm PURLINS AT 600mm OC. PERPENDICULAR TO ROOF JOISTS</li> <li>• 40mm x 285mm ROOF JOISTS @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>• R14 BATT INSULATION</li> <li>• 6mm POLY VAPOUR BARRIER</li> <li>• 16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM CEILING BOARD FOR GYPSUM CEILING BOARD.</li> </ul>			8.499 RSI (R48.2)	
R4		<b>BELL TOWER ROOF ASSEMBLY</b> <ul style="list-style-type: none"> <li>• ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>• #15 FELT UNDERLAY</li> <li>• 16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x140 RAFTER (REFER TO STRUCTURAL)</li> </ul>				

PARTITION ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
P1		<b>38x89 PARTITION</b> <ul style="list-style-type: none"> <li>• 13mm GYPSUM WALLBOARD</li> <li>• 38x89 WOOD STUDS @ 400mm O.C.</li> <li>• ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>• 13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
P2		<b>38x140 PARTITION</b> <ul style="list-style-type: none"> <li>• 13mm GYPSUM WALLBOARD</li> <li>• 38x140 WOOD STUDS @ 400mm O.C.</li> <li>• ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>• 13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
P3		<b>PARTITION ADJACENT TO EXISTING BUILDING</b> <ul style="list-style-type: none"> <li>• 16mm TYPE 'X' GYPSUM WALLBOARD</li> <li>• 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• 38x89 WOOD STUDS @ 400mm O.C.</li> <li>• 65mm STRUCTURAL SEPARATION (REFER TO STRUCTURAL)</li> <li>• NEW LAYER 16mm TYPE 'X' GYPSUM WALLBOARD</li> <li>• EXISTING WALL ASSEMBLY</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>				
P4		<b>38x89 PARTITION - FIRE-RATED ASSEMBLY</b> <ul style="list-style-type: none"> <li>• 16mm GYPSUM WALLBOARD</li> <li>• 38x89 WOOD STUDS @ 400mm O.C.</li> <li>• ACOUSTIC INSULATION</li> <li>• 16mm GYPSUM WALLBOARD</li> </ul>	1.0 HR F.R.R.	BCBC 2018 W1a		
P5		<b>25x89 SHEAR WALL</b> <ul style="list-style-type: none"> <li>• 13mm GYPSUM WALLBOARD</li> <li>• 38x89 WOOD STUDS @ 400mm O.C.</li> <li>• ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>• 13mm PLYWOOD SHEATHING</li> <li>• 13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>				
P6		<b>38x89 SHEAR WALL</b> <ul style="list-style-type: none"> <li>• 13mm GYPSUM WALLBOARD</li> <li>• 38x89 WOOD STUDS @ 400mm O.C.</li> <li>• ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>• 13mm PLYWOOD SHEATHING</li> <li>• 13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE!</b> <ul style="list-style-type: none"> <li>• REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>	1.0 HR F.R.R.	BCBC 2018 W1a		
P7		<b>MECHANICAL SHAFT WALL</b> <ul style="list-style-type: none"> <li>• 25mm SHAFTLINER</li> <li>• CT STUDS</li> <li>• 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD</li> </ul>	2 HOUR	ULC W452 SYSTEM 'A'		

CEILING ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
C1		<b>MECHANICAL ROOM LID - FIRE RATED</b> <ul style="list-style-type: none"> <li>• 19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>• PRE-ENGINEERED ATTIC TRUSSES WITH 38x235 BOTTOM CORD @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>• BATT INSULATION TO FILL CAVITY</li> <li>• 2 LAYERS 16mm TYPE 'X' GYPSUM CEILING BOARD</li> </ul>	1.0 HR F.R.R.	BCBC2018 Table 9.10.3.1-B F4a		



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30Nov23 Issued for BP

2 09Jan23 Revised as noted

1 13Dec22 Revised as noted

09Dec22 Issued for Construction

05Dec22 Revised as noted

24Oct22 Issued for BP

Rev. Date Description

Checked: SMB

Drawn: RJC

Scale: AS NOTED

Date: JAN 02, 2024

Project Name:

**SHADY CREEK CHURCH**

7180 EAST SAANICH RD.,

SAANICHTON, BC V8M 1Y4

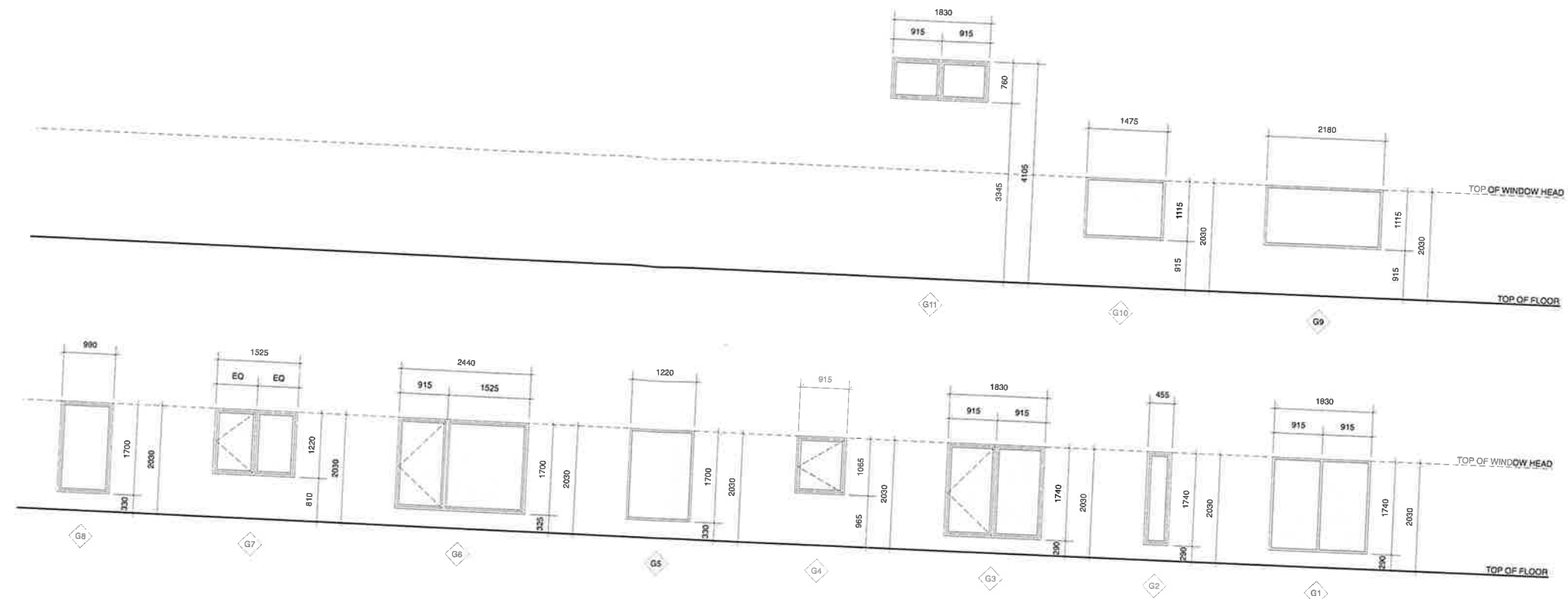
Drawing Title

**ASSEMBLIES**

Drawing No. **A1.01**

Project No. **20383**

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2 WINDOW SCHEDULE  
A1.02 Scale: N.T.S.

### DOOR SCHEDULE

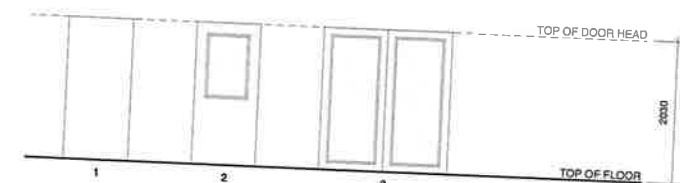
Door #	Location Info	Style	Size	Swing	Material	Finish	Label	Glazing	Hdwe	Material	Frame	Finish	Notes
D101	ENTRY TO EXTERIOR	3	1830 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	
D102	MULTIPURPOSE ROOM TO EXTERIOR	3	1830 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	
D104	OPEN AREA TO MECHANICAL ROOM	1	1525 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	
D105	CORRIDOR TO PASTOR'S OFFICE	2	915 x 2030	RH	WD	PT	45 MIN	-	OFFICE	PS	PT	-	CL GA
D106	CORRIDOR TO KITCHEN	1	915 x 2030	RH	WD	PT	-	TEMP'D	OFFICE	WD	PT	-	CL GA
D107	CORRIDOR TO MULTIPURPOSE ROOM	2	915 x 2030	LH	WD	PT	-	-	BARN DOOR	WD	PT	-	
D108	MULTIPURPOSE ROOM TO JANITOR CLOSET	1	710 x 2030	LHR	WD	PT	-	TEMP'D	PASSAGE	WD	PT	-	BARN DOOR
D109	MULTIPURPOSE ROOM TO CLOSET	1	1830 x 2030	LH / RH	WD	PT	-	-	PASSAGE	WD	PT	-	WS
D110	CORRIDOR TO CORRIDOR	1	915 x 2030	LH	WD	PT	-	-	SLIDER	WD	PT	-	WS
D111	CORRIDOR TO WASHROOM	1	760 x 2030	RH	WD	PT	-	-	BARN DOOR	WD	PT	-	SLIDER
D112	CORRIDOR TO WASHROOM	1	760 x 2030	LH	WD	PT	-	-	PRIVACY	WD	PT	-	BARN DOOR
D113	CORRIDOR TO ACCESSIBLE WASHROOM	1	915 x 2030	RHR	WD	PT	-	-	PRIVACY	WD	PT	-	WS
	CORRIDOR TO RECEPTION	2	915 x 2030	LH	WD	PT	-	TEMP'D	OFFICE	WD	PT	-	WS
													CL WS

### ABBREVIATIONS USED IN DOOR SCHEDULE

RH	RIGHT HAND SWING	ENTRY	KEYED LOCKSET
LH	LEFT HAND SWING	P/PULL	PUSH - PULL HARDWARE
RHR	RIGHT HAND REVERSE SWING	OFFICE	KEYED LOCKSET WITH INTERIOR BUTTON
LHR	LEFT HAND REVERSE SWING	PRIVACY	LOCKSET WITH INTERIOR BUTTON
RHRA	RIGHT HAND REVERSE ACTIVE LEAF	PANIC	PUSHBAR EXIT DEVICE
DBL	DOUBLE ACTING	PASSAGE	LOCKSET W/ ANY LOCK
HM	HOLLOW METAL	ROLLCATCH	ROLLER CATCH HARDWARE
SCW	SOLID CORE WOOD	F/DUMMY	KEYLESS DOOR ENTRY SYSTEM
HCW	HOLLOW CORE WOOD	S/DUMMY	FULL DUMMY DOOR KNOB
AL	ALUMINUM		SINGLE DUMMY DOOR KNOB
PS	PRESSED STEEL	CL	DOOR CLOSER
ST	STEEL	WS	WALL STOP
WD	SOLID WOOD	FS	FLOOR STOP
GL	GLAZING	ELEC	ELECTRIC STRIKE
FACTORY	FACTORY FINISH	PR	PROXIMITY READER
FACTORY	FACTORY PRIME - SITE PAINTED	GA	WEATHERSTRIPPING GASKETS
CLEAR	CLEAR ANODIZED	KR	KICKPLATE
ANOD	CLEAR ANODIZED	THROWS	FLUSH BOLTS TOP AND BOTTOM
FLOAT	STANDARD FLOAT GLASS	HC	HANDICAP ACTUATOR
WIRED	GEORGIAN WIRED GLASS	MC	MORTISE CYLINDER
TEMP'D	TEMPERED GLASS	PKT	ROCKET DOOR
LSG	LAMINATED SAFETY GLASS	SLIDER	SLIDING DOOR

### DOOR SCHEDULE GENERAL NOTES

- ALL DOORS INDICATED TO HAVE A FIRE RESISTANCE RATING IN SCHEDULE TO HAVE A MAXIMUM OF A 1/2" UNDERCUT BETWEEN FINISHED FLOOR AND UNDERSIDE OF RATED DOOR.
- ALL DOORS INDICATED TO HAVE A FIRE RESISTANCE RATING IN SCHEDULE TO BE PROVIDED WITH POSITIVE LATCHING HARDWARE DESIGNED TO HOLD THE DOOR IN A CLOSED POSITION TO ENSURE CONTINUITY OF FIRE RESISTANCE RATING.
- ALL ENTRY, PRIVACY AND PASSAGE DOOR HARDWARE TO BE LEVER ACTION.



1 DOOR SCHEDULE  
A1.02 Scale: N.T.S.



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Project Name

SHADY CREEK

CHURCH

7180 EAST SAANICH RD.,

SAANICHTON, BC V8M 1Y4

Drawing Title

DOOR & WINDOW SCHEDULES

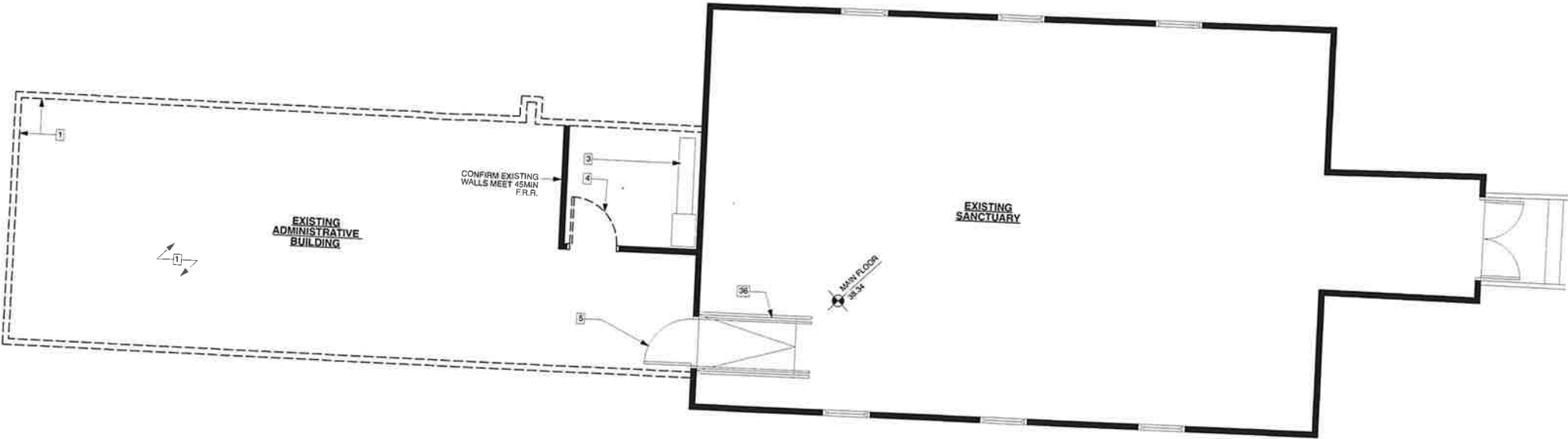
Drawing No.

A1.02

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1 EXISTING CHURCH PLAN  
A2.00 Scale: 1:50

**KEY NOTES**

1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.

2. NOT USED.

3. EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.

4. REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.

5. EXISTING DOOR TO REMAIN.

6. 400mm x 200mm SHELF MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.

7. WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.

8. BABY CHANGING TABLE TO BE "KOALA CLASSIC HORIZONTAL BABY CHANGING STATION" (56100) OR SIMILAR. PROVIDE BLOCKING IN WALL.

9. HAND DRYERS AS PER OWNER. PROVIDE BLOCKING IN WALL.

10. SURFACE MOUNTED SOAP DISPENSER.

11. SURFACE MOUNTED PAPER ROLL HOLDER.

12. PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.

13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 760mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 760mm TO 838mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.

14. COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.

15. TOILET TANK LID TO BE BOLTED DOWN.

16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).

17. BELL TOWER ACCESS LADDER.

18. PULL-DOWN ATTIC ACCESS LADDER.

19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.

20. CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.

21. INSULATED BELL TOWER ACCESS HATCH.

22. HEAVY TIMBER POST - REFER TO STRUCTURAL.

23. HOT WATER TANK - REFER TO STRUCTURAL.

24. BELL TOWER VENT - PAINTED.

25. LINE OF STRUCTURE BELOW.

26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.

27. ROOF VENT (50 NFA MINIMUM).

28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.

29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.

30. CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.

31. UNDER COUNTER STORAGE.

32. OFFICE PRINTER.

33. JANITOR'S SINK.

34. ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.

35. PREFINISHED PERFORATED METAL SOFFIT.

36. EXISTING RAMP TO REMAIN.

37. MECHANICAL VENT (REFER TO MECHANICAL).

38. LINE OF BELL TOWER ABOVE.

39. LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.

40. SLAB THICKENING - REFER TO STRUCTURAL.

41. CONFIRM EXISTING WALLS MEET 45 MIN F R R.

**SYMBOL LEGEND**

D0

DOOR TAG

G1

WINDOW TAG

P1

ASSEMBLY TAG

S

SECTION MARKER

DETAIL MARKER

DETAIL MARKER

KEY NOTE TAG

KEY NOTE TAG

MATERIALS TAG

MATERIALS TAG

EMERGENCY LIGHT (SEE ELECTRICAL)

EMERGENCY LIGHT (SEE ELECTRICAL)

FIRE EXTINGUISHER

FIRE EXTINGUISHER

EXIT SIGN

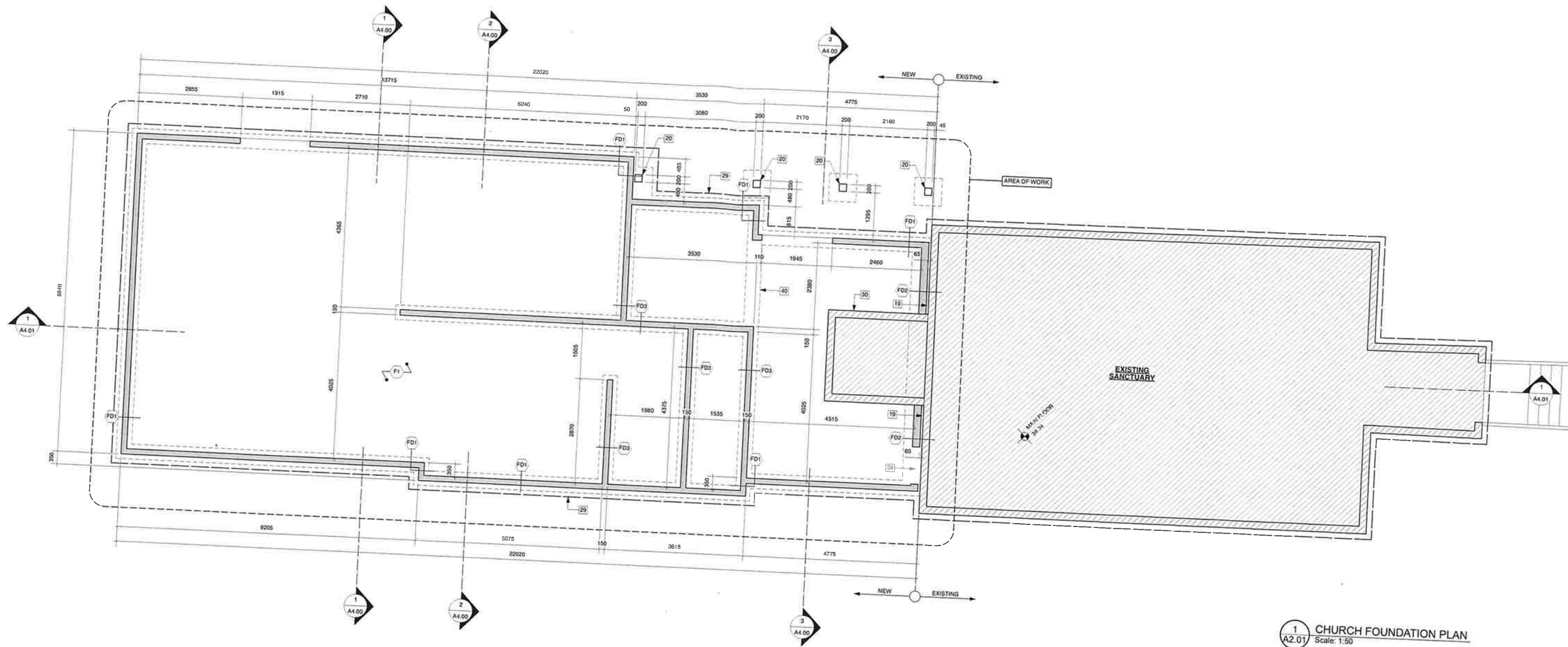
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09Dec22	Issued for Construction	
05Dec22	Revised as noted	
24Dec22	Issued for BP	
Rev	Date	Description
Checked		SMB
Drawn		RJC
Scale		1:50
Date		NOVEMBER 30, 2023
2	09Jun23	Revised as noted
1	13Dec22	Revised as noted
Rev	Date	Description

Project Name	Drawing Title
SHADY CREEK CHURCH	EXISTING & DEMO PLAN
7180 EAST SAANICH RD., SAANICHTON, BC V8M 1Y4	
Project No	Drawing No
20383	A2.00



1 CHURCH FOUNDATION PLAN  
A2.01 Scale: 1:50

### KEY NOTES

- REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.
- NOT USED.
- EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.
- REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.
- EXISTING DOOR TO REMAIN.
- 400mm x 200mm SHELF MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.
- WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.
- BABY CHANGE TABLE TO BE "KOALA CLASSIC HORIZONTAL BABY CHANGING STATION" (KB100) OR SIMILAR. PROVIDE BLOCKING IN WALL.
- HAND DRYERS AS PER OWNER. PROVIDE BLOCKING IN WALL.
- SURFACE MOUNTED SOAP DISPENSER.
- SURFACE MOUNTED PAPER ROLL HOLDER.
- PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.
- L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 750mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 750mm TO 838mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
- COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.
- TOILET TANK LID TO BE BOLTED DOWN.
- LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
- BELL TOWER ACCESS LADDER.
- PULL-DOWN ATTIC ACCESS LADDER.
- 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
- CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.
- INSULATED BELL TOWER ACCESS HATCH.
- HEAVY TIMBER POST - REFER TO STRUCTURAL.
- HOT WATER TANK TO HAVE SEISMIC RESTRAINTS.
- BELL TOWER VENT - PAINTED.
- LINE OF STRUCTURE BELOW.
- PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.
- ROOF VENT (50 NFA MINIMUM).
- NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
- 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
- CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.
- UNDER COUNTER STORAGE.
- OFFICE PRINTER.
- JANITOR'S SINK.
- ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.
- PREFINISHED PERFORATED METAL SOFFIT.
- EXISTING RAMP TO REMAIN.
- MECHANICAL VENT (REFER TO MECHANICAL).
- LINE OF BELL TOWER ABOVE.
- LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.
- SLAB THICKENING - REFER TO STRUCTURAL.
- CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.

### SYMBOL LEGEND

- D0 DOOR TAG
- G1 WINDOW TAG
- P1 ASSEMBLY TAG
- SECTION MARKER
- DETAIL MARKER
- KEY NOTE TAG
- MATERIALS TAG
- EMERGENCY LIGHT (SEE ELECTRICAL)
- FIRE EXTINGUISHER
- EXIT SIGN

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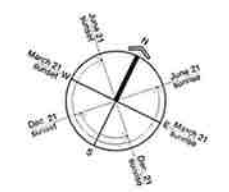
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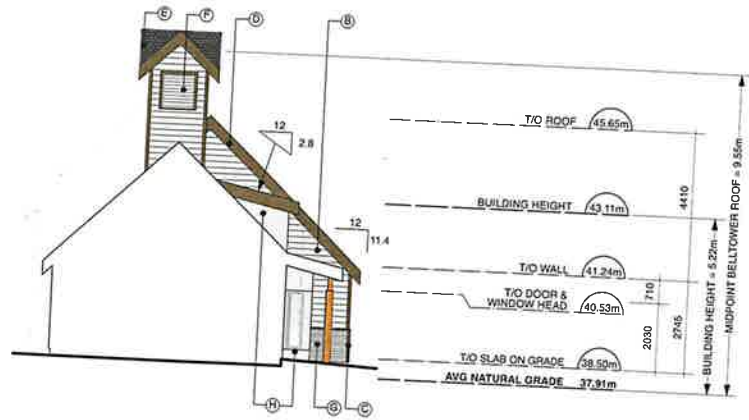
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09Dec22	Revised as noted	24Dec22		Issued for BP	
Rev	Date	Description	Checked	SMB	
Drawn	RJC		Scale	1:50	
Date	NOVEMBER 30, 2023				
Rev	Date	Description	23Nov23	Issued for BP	
2	09Jan23	Revised as noted	1	13Dec22	Revised as noted
Rev	Date	Description			

Project No. 20383

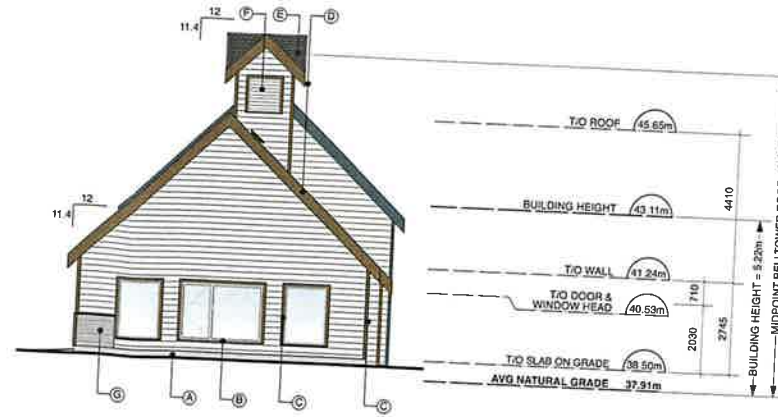
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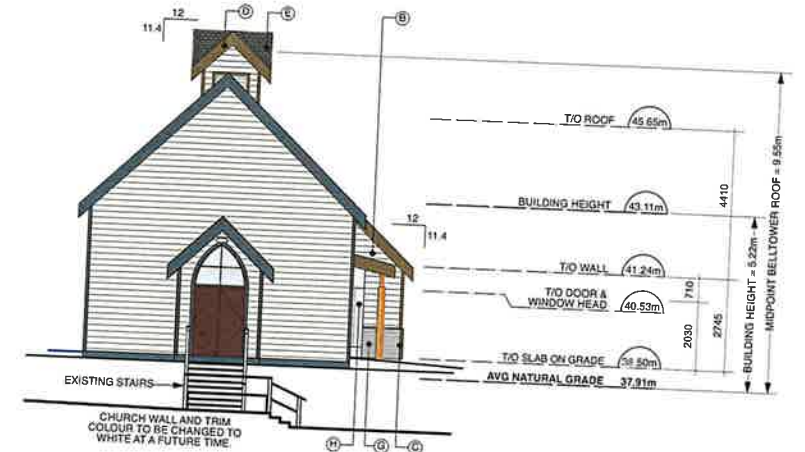




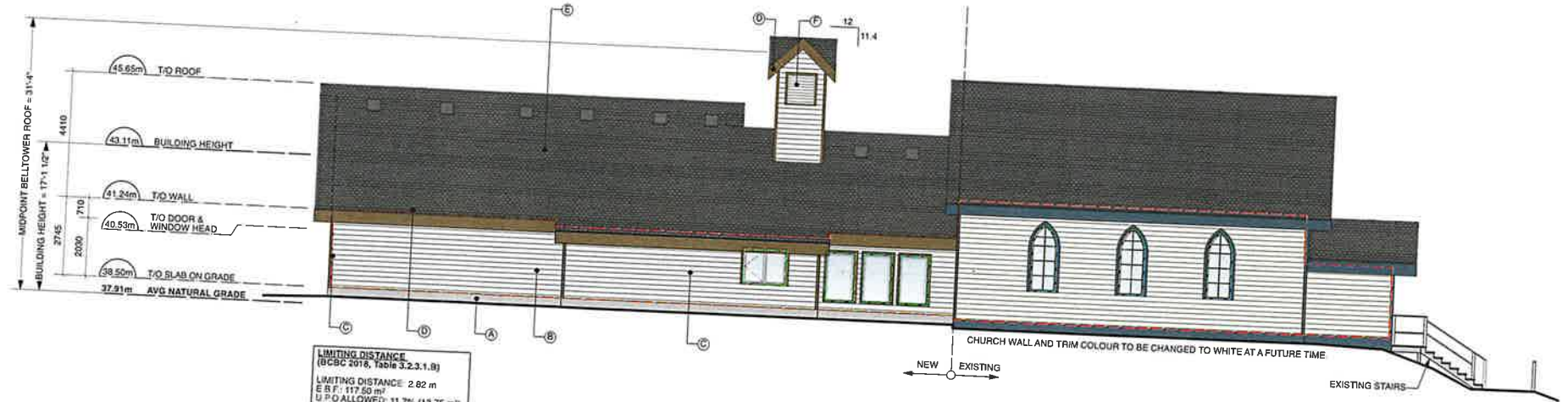
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Scale: 1:100



4 WEST ELEVATION  
Scale: 1:100



3 EAST ELEVATION  
Scale: 1:100



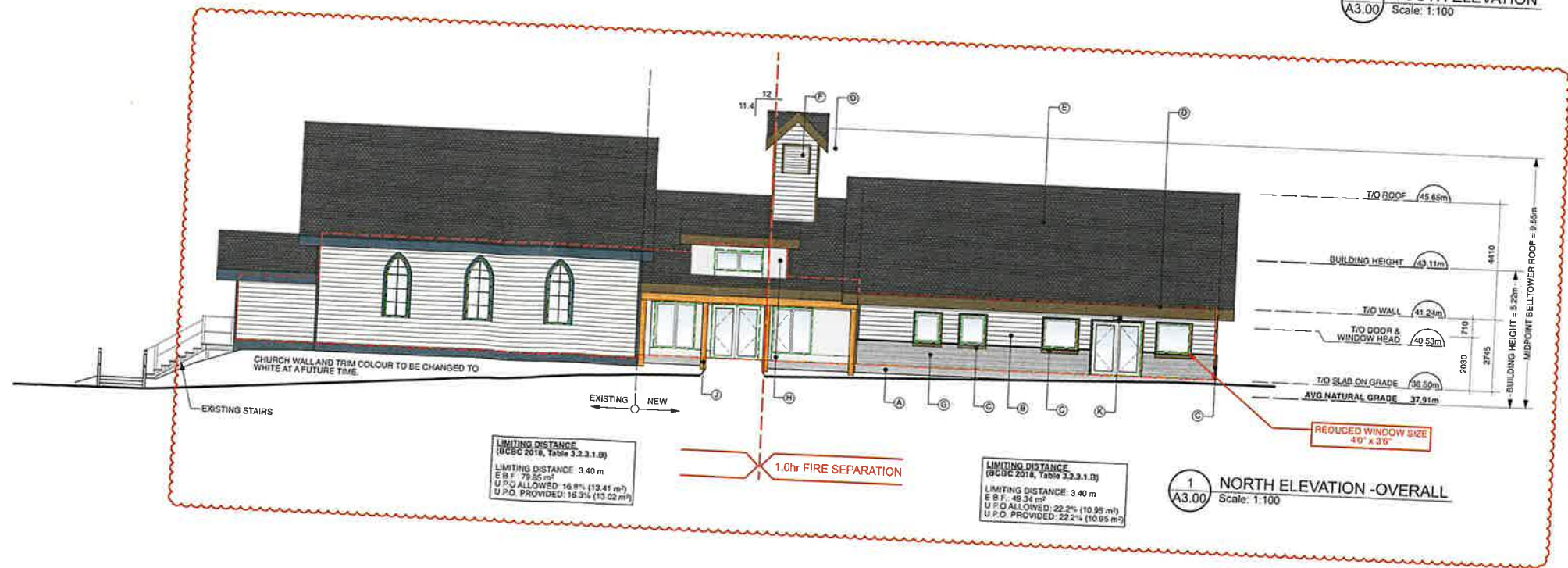
2 SOUTH ELEVATION  
Scale: 1:100

#### MATERIALS LEGEND

- A. EXPOSED CONCRETE
- B. HORIZONTAL FIBRE CEMENT SHIPLAP CLADDING WITH FACING TO MATCH EXISTING CHURCH - PAINTED
- C. 3 1/2" FIBRE CEMENT CORNER, DOOR & WINDOW TRIM - PAINTED + 5 1/2" WINDOW APRON TRIM
- D. COMB FACE FASCIA - PAINTED
- E. ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING
- F. BELL TOWER VENT - PAINTED
- G. HORIZONTAL FIBRE CEMENT SHIPLAP CLADDING WITH 4" FACING - PAINTED
- H. FIBRE CEMENT PANELS - PAINTED
- J. TIMBER POST & BEAM
- K. DOWNCAST LED LIGHTING

#### MATERIALS LEGEND

- FASCIA, CORNER TRIM, DOOR TRIM & WINDOW TRIM
- PANEL & LAP CLADDING
- NEW WINDOW & DOORS & BELL TOWER VENTS
- TIMBER BEAM AND POST



1 NORTH ELEVATION - OVERALL  
Scale: 1:100



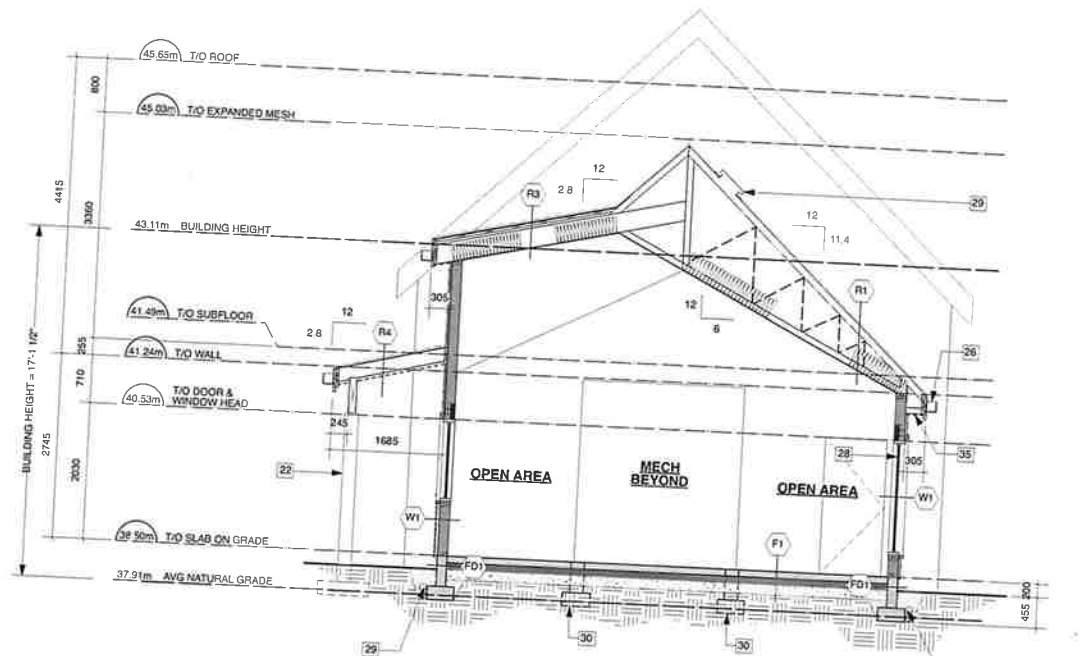
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30Nov23	Issued for BP	
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	09Dec22	Issued for Construction
	05Dec22	Revised as noted
	24Oct22	Issued for BP
Rev	Date	Description
Checked		SMB
Drawn		RJC
Scale		1:100
Date		JAN 02, 2024

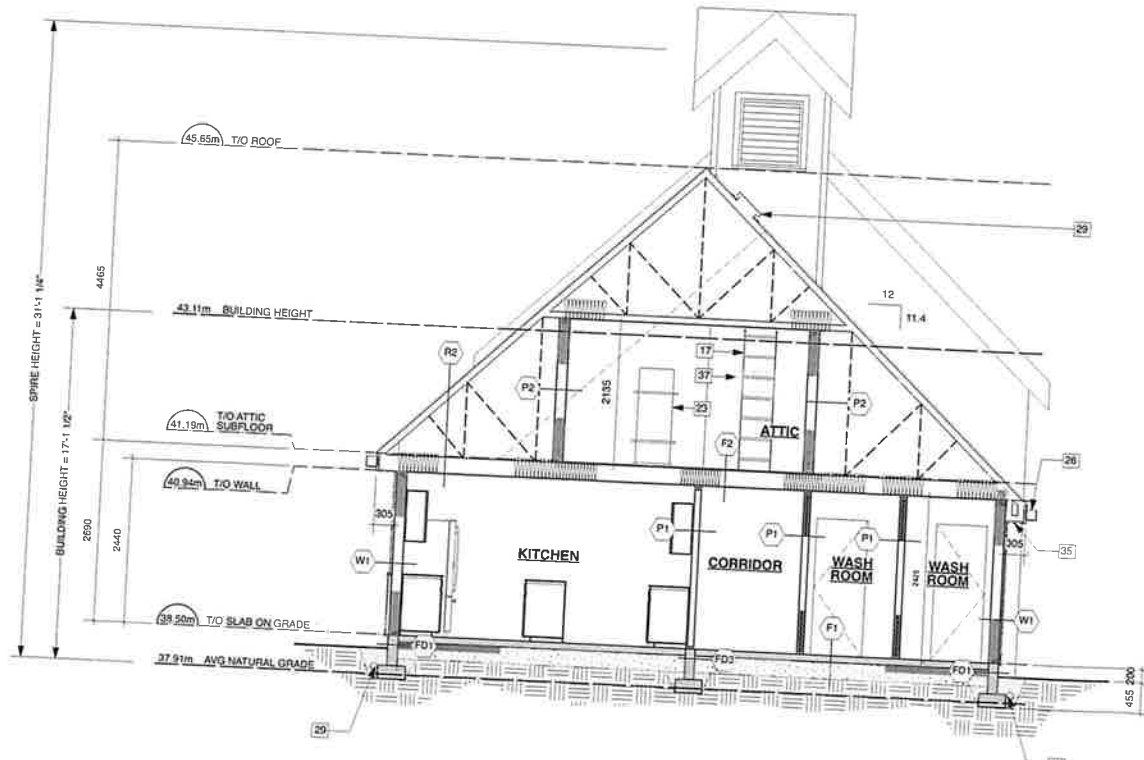
Project Name  
**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD.  
SAANICHTON, BC V8M 1Y4  
Drawing Title

#### ELEVATIONS

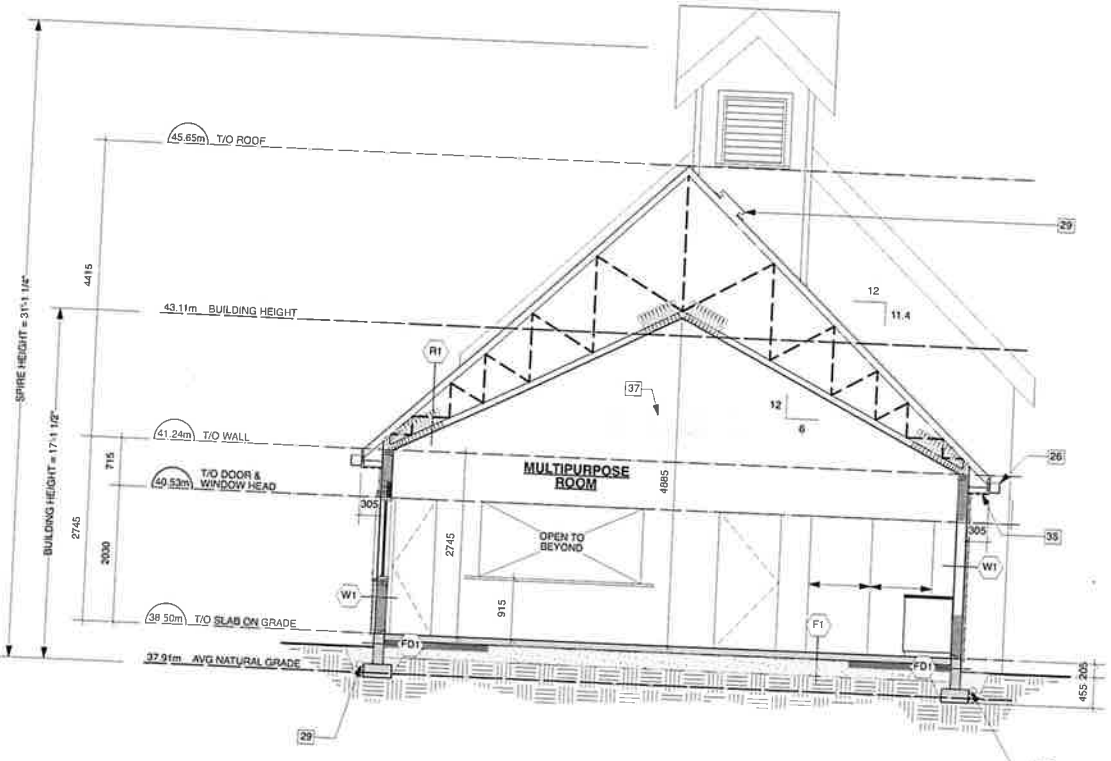
Drawing No  
**A3.00R1**  
Project No  
**20383**



3 BUILDING SECTION 3  
Scale: 1:50



2 BUILDING SECTION 2  
Scale: 1:50



1 BUILDING SECTION 1  
Scale: 1:50

SYMBOL LEGEND	
	DOOR TAG
	WINDOW TAG
	ASSEMBLY TAG
	SECTION MARKER
	DETAIL MARKER
	KEY NOTE TAG
	MATERIALS TAG
	EMERGENCY LIGHT (SEE ELECTRICAL)
	FIRE EXTINGUISHER
	EXIT SIGN

#### KEY NOTES

1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSE OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.
2. NOT USED.
3. EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.
4. REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.
5. EXISTING DOOR TO REMAIN.
6. 400mm x 200mm SHELF MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.
7. WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.
8. BABY CHANGE TABLE TO BE "KOALA CLASSIC HORIZONTAL BABY CHANGING STATION" (KB100) OR SIMILAR. PROVIDE BLOCKING IN WALL.
9. HAND DRYERS AS PER OWNER. PROVIDE BLOCKING IN WALL.
10. SURFACE MOUNTED SOAP DISPENSER.
11. SURFACE MOUNTED PAPER ROLL HOLDER.
12. PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.
13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 760mm LONG MOUNTED WITH FLOOR AND THE VERTICAL COMPONENT 150mm ABOVE THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
14. COAT HOOK MOUNTED NOT MORE 30 MM FROM THE WALL.
15. TOILET TANK LID TO BE BOLTED DOWN.
16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
17. BELL TOWER ACCESS LADDER.
18. PULL-DOWN ATTIC ACCESS LADDER.
19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
20. CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.
21. INSULATED BELL TOWER ACCESS HATCH.
22. HEAVY TIMBER POST - REFER TO STRUCTURAL.
23. HOT WATER TANK TO HAVE SEISMIC RESTRAINTS.
24. BELL TOWER VENT - PAINTED.
25. LINE OF STRUCTURE BELOW.
26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND DRAINWATER LEADER.
27. ROOF VENT (50 NFA MINIMUM).
28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
30. CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.
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32. OFFICE PRINTER.
33. JANITOR'S SINK.
34. ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.
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36. EXISTING RAMP TO REMAIN.
37. MECHANICAL VENT (REFER TO MECHANICAL).
38. LINE OF BELL TOWER ABOVE.
39. LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.
40. SLAB THICKENING - REFER TO STRUCTURAL.
41. CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.



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	09Dec22	Issued for Construction
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	24Oct22	Issued for BP

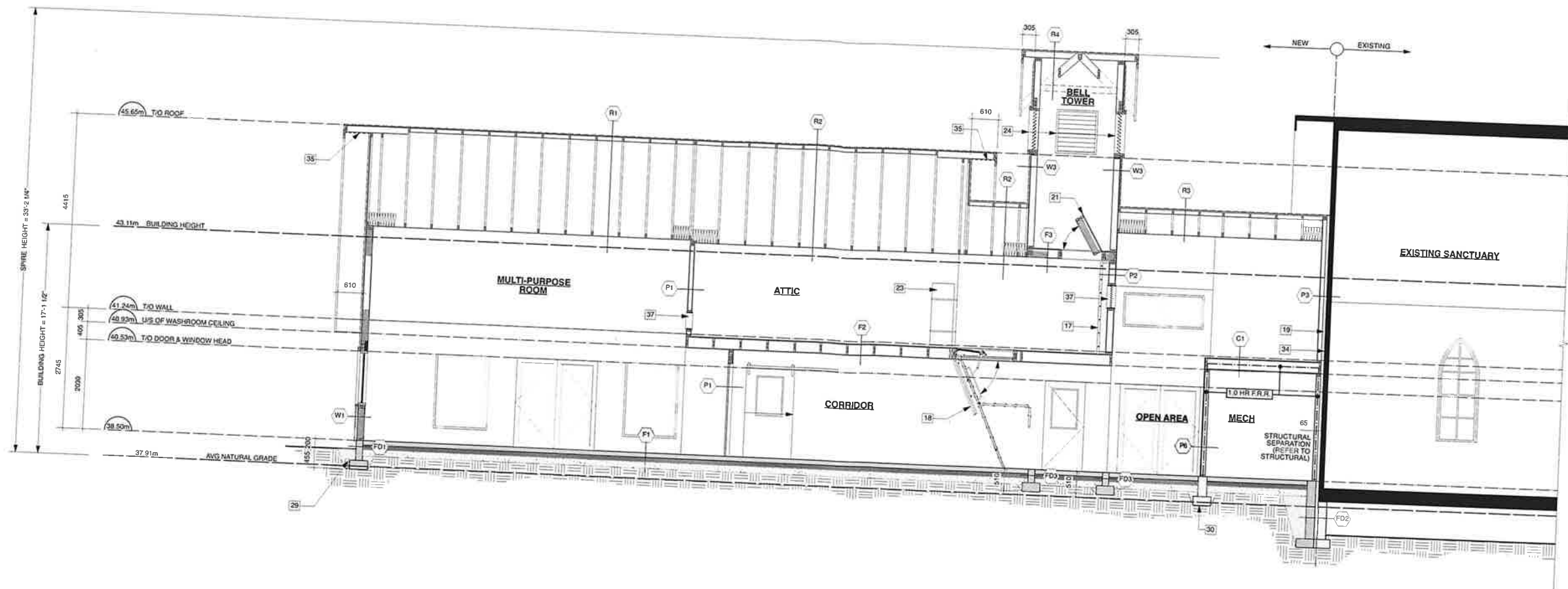
Project Name  
**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD,  
SAANICHTON, BC V8M 1Y4

#### BUILDING SECTIONS

Drawing No. **A4.00**  
Project No. **20383**

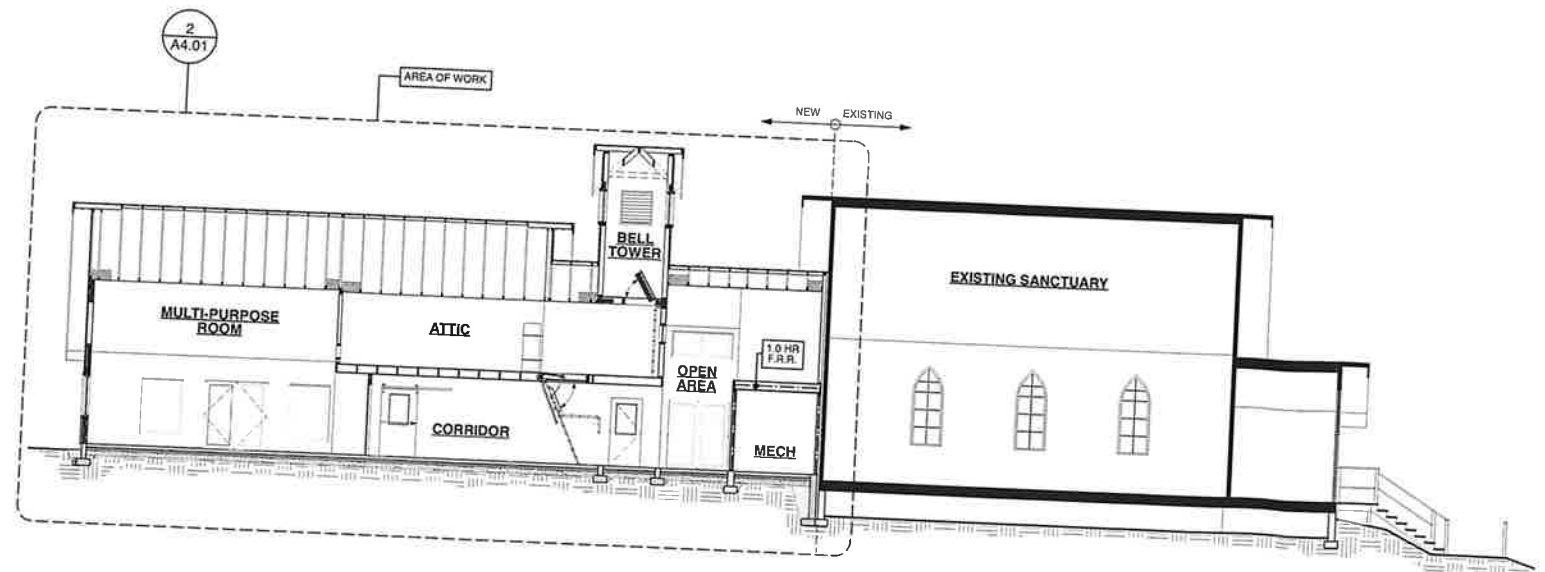
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SYMBOL LEGEND	
	DOOR TAG
	WINDOW TAG
	ASSEMBLY TAG
	SECTION MARKER
	DETAIL MARKER
	KEY NOTE TAG
	MATERIALS TAG
	EMERGENCY LIGHT (SEE ELECTRICAL)
	FIRE EXTINGUISHER
	EXIT SIGN

2 BUILDING SECTION 4 - AREA OF WORK  
Scale: 1:50



1 BUILDING SECTION 4  
Scale: 1:100

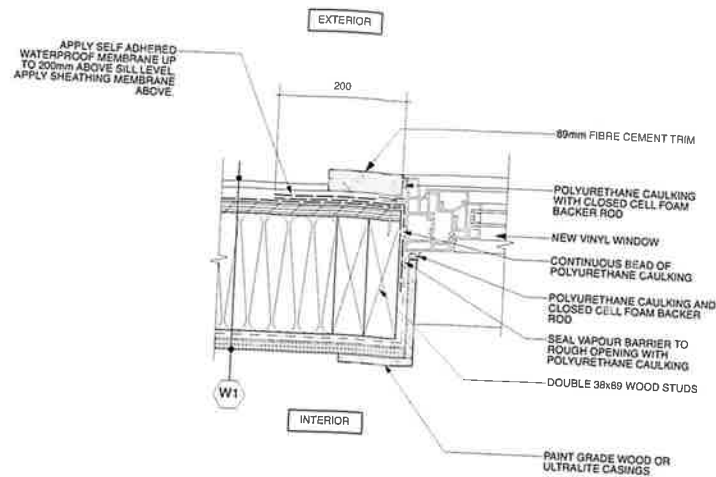
KEY NOTES	
1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFFSITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.	13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 750mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 100mm TO 130mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
2. NOT USED.	14. COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.
3. EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.	15. TOILET TANK LID TO BE BOLTED DOWN.
4. REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFFSITE.	16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
5. EXISTING DOOR TO REMAIN.	17. BELL TOWER ACCESS LADDER.
6. 400mm x 200mm SHELVE MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.	18. PULL-DOWN ATTIC ACCESS LADDER.
7. WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.	19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
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10. SURFACE MOUNTED SOAP DISPENSER.	22. HEAVY TIMBER POST - REFER TO STRUCTURAL.
11. SURFACE MOUNTED PAPER ROLL HOLDER.	23. HOT WATER TANK TO HAVE SEISMIC RESTRAINTS.
12. PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.	24. BELL TOWER VENT - PAINTED.
	25. LINE OF STRUCTURE BELOW.
	26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.
	27. ROOF VENT (50 NFA MINIMUM)
	28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
	29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
	30. CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.
	31. UNDER COUNTER STORAGE.
	32. OFFICE PRINTER.
	33. JANITOR'S SINK.
	34. ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.
	35. PREFINISHED PERFORATED METAL SOFFIT.
	36. EXISTING RAMP TO REMAIN.
	37. MECHANICAL VENT (REFER TO MECHANICAL).
	38. LINE OF BELL TOWER ABOVE.
	39. LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.
	40. SLAB THICKENING - REFER TO STRUCTURAL.
	41. CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.

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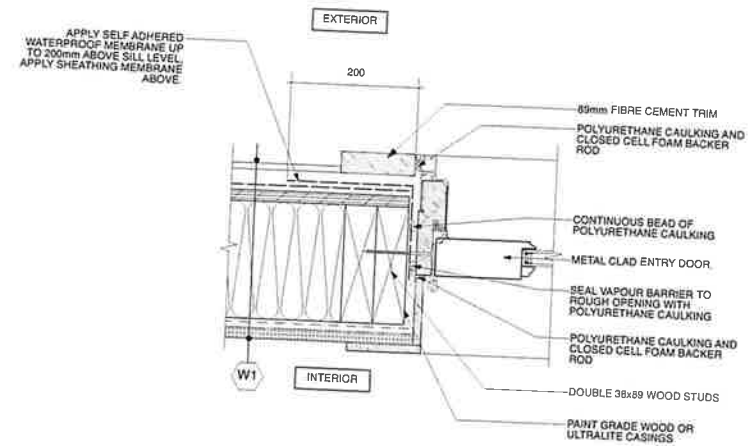
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Date		JAN 02, 2024
Project Name		SHADY CREEK CHURCH
		7180 EAST SAANICH RD., SAANICHTON, BC V8M 1Y4
Drawing Title		BUILDING SECTIONS
Drawing No		A4.01
Project No.		20383

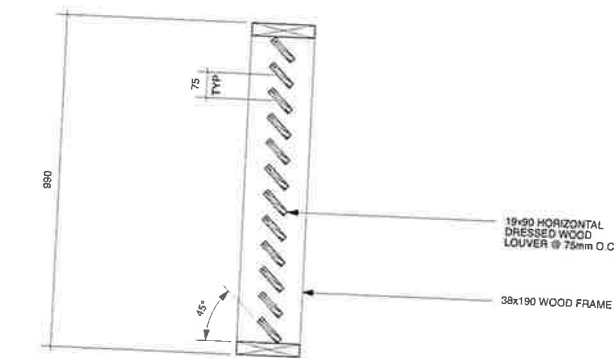
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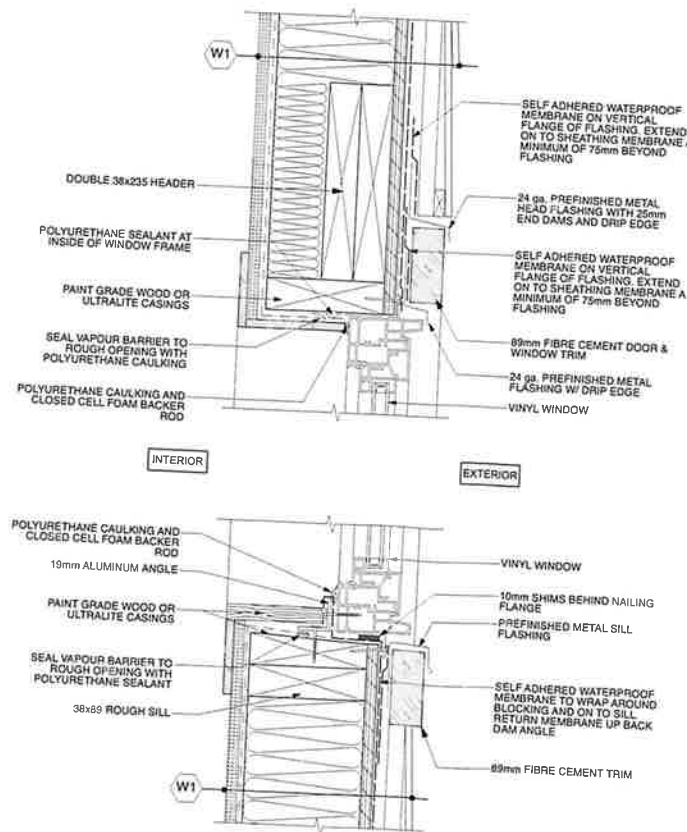
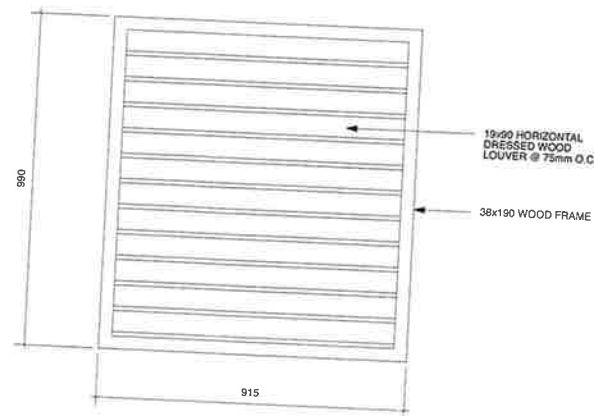
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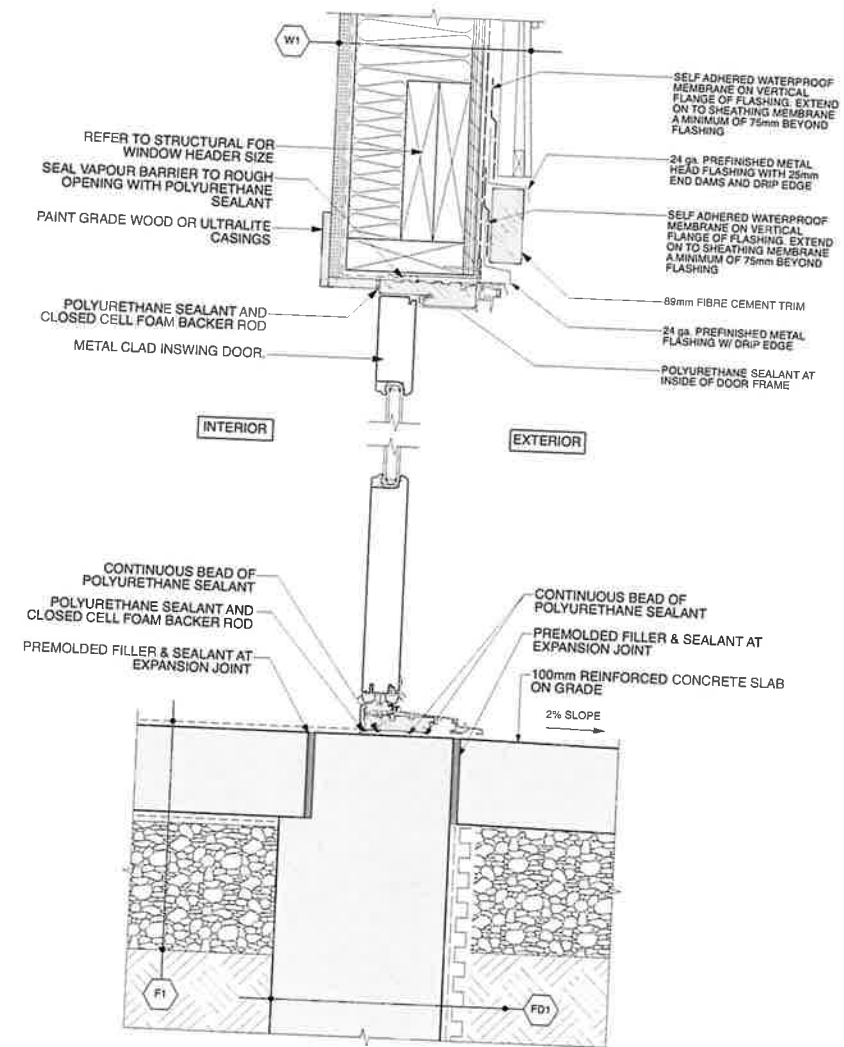
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Scale: 1:4



5 BELL TOWER VENT  
Scale: 1:10



3 WINDOW HEAD & SILL - SECTION DETAIL  
Scale: 1:4



1 DOOR HEAD & SILL - SECTION DETAIL  
Scale: 1:4



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Project Name  
**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD.  
SAANICHTON, BC V8M 1Y4  
Drawing Title

**MISC. DETAILS**

Drawing No. **A5.01**  
Project No. **20383**

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