



# The Corporation of the District of Central Saanich

## REGULAR COUNCIL REPORT

For the Regular Council meeting on Monday, May 12, 2025

Re: 7180 East Saanich Road – Temporary Use Permit

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### **RECOMMENDATION(S):**

*That with regard to Temporary Use Permit Application PL001757 for 7180 East Saanich Road, staff schedule an opportunity to be heard at a future Council meeting.*

Following the consideration of public input, the following recommendations should be considered:

That following receipt of public input, Temporary Use Permit PL001757 be authorized for issuance for a period of three (3) years.

### **PURPOSE:**

The purpose of this report is to consider a Temporary Use Permit (TUP) application to permit the use of a kitchen at the Shady Creek Church as a commercial food processing facility.

### **BACKGROUND:**

In 2024, the Shady Creek or Central Saanich United Church undertook the construction of an addition to the existing church which included a commercial kitchen. As a result of a business license application, the District was made aware that the Shady Creek Church wishes to use the newly constructed commercial kitchen as a rentable space for Food Processing. At present, this is not a permitted use under the Zoning Bylaw for the P-1 Zone (General Institution).

This project was associated with a Heritage Designation of the Church and Hall buildings. The existing kitchen was constructed to support the community by providing a rentable commercial kitchen facility for individuals and small businesses to cook and bake products and is not built for large-scale food processing that results in “grease laden fumes”. A letter of rationale and site plan are attached as Appendix A and Appendix B.

### **DISCUSSION:**

#### **Subject Property:**

7180 East Saanich Road lies within the urban containment boundary and is located on East Saanich Road between Shady Creek Drive and Dogwood Lane. To the south of the property is the Shady Creek Cemetery and Cooperidge Park. To the north is a Telus communication building and Residential R-1 zoned lands. To the west and east is Agricultural A-1 zoned property and ALR. The subject property is zoned General Institutional P-1 which includes the Shady Creek Church and a separate Hall building used for a daycare. A gravel parking area is located at the rear of the buildings. A stand of Douglas Fir trees is located along the southern property line. A context plan is included in Appendix C.

**Official Community Plan:**

The District's OCP designates the subject property as Institutional which serves the purpose of permitting a range of government or non-profit services to the community such as schools, churches, hospitals, or municipal services.

The OCP has several policies and objectives that support the development of community spaces and small businesses throughout the District and within Institutional zones including:

- Objective 4.4.D: Local entrepreneurs are supported, and the local economy is thriving with a range of commercial service and retail businesses, a diverse and productive agricultural sector, and home occupation businesses.
- Policy 4.11.8: Encourage all institutional uses to ensure sites are designed for accessibility of all ages and abilities and apply an equity lens to ensure the most marginalized users are given priority.

Specific to Temporary Use Permits, the District's OCP outlines that all lands in the District are designated as areas where temporary uses may be allowed, subject to the terms and conditions of a TUP approved by Council and that a TUP can include a wide range of terms and conditions and are approved by Council.

Many of the TUP general policies support the use of a commercial kitchen for the subject property, including:

- Schedule C Policy 1.b: Is generally compatible with surrounding land uses.
- Schedule C Policy 1.c: Would not be undesirable due to smoke, noise, vibration, dirt, glare, odour, or electrical interference.
- Schedule C Policy 1.d: Would not negatively impact lands of heritage, cultural, or environmental significance.
- Schedule C Policy 1.e: Would create no significant increase in demand for municipal services.
- Schedule C Policy 1.f: Not permanently alter the land upon which it is located.

The proposed use would be compatible with the above OCP policies.

**Zoning Bylaw:**

7180 East Saanich Road is zoned as P-1: General Institution which allows for community uses such as civic buildings, childcare facilities, gardens, and cemeteries. The District's Zoning Bylaw does not currently permit food processing within the P-1 zone. The Zoning Bylaw defines Food Processing as the use of a premises for the manufacturing of animal feed or the manufacturing of food or beverage products but excludes abattoirs and rendering plants. This use is only permitted in the CD-4 zone and I-1 Zone through the processing use.

Due to the broad uses included in the definition of Food Processing in the Zoning Bylaw such as the manufacturing of animal feed, the defined use is not recommended to be permitted for the subject property and a new definition that would better align with the application is recommended.

It is recommended that a new definition specific to a Commissary Kitchen that is not an industrial manufacturing use is proposed as follows:

*A commercial use providing for the preparation of food or beverages for consumption off-premises only, which does not offer sales or service to patrons on the premises, and which may be used by catering services, food delivery services, and similar uses.*

To ensure small batch, low level cooking that would not emit grease laden fumes, and that no retail service is provided, additional conditions are recommended for a TUP. With the comprehensive Zoning Bylaw update, staff will review Commissary Kitchen regulations to modernize uses where appropriate.

**Business Licensing:**

If the TUP is successful, a District of Central Saanich business license would be required by each kitchen operator prior to any commercial uses being carried out in the kitchen. As per normal practice inspections may occur to ensure building code compatibility.

**Health and Safety:**

If the TUP application is successful, the Vancouver Island Health Authority (VIHA) would be involved to ensure commercial and food safe standards are adequate and the kitchen is appropriate to be used as a commercial retail food production facility.

The Capital Regional District's (CRD) health and safety regulations relating to food handling and preparation are required to be met by each kitchen operator prior to any commercial uses. Related CRD and/or VIHA confirmation forms and documents would be required prior to the issuance of a business license. If any new kitchen fixtures or upgrades are required for a business, building or plumbing permits, completed CRD forms, and/or other applicable proposed work details may be required.

**Temporary Use Permit:**

A TUP would be valid for 3 years and could be requested to be extended for an additional 3 years. A future extension could be approved by the Director of Planning, Building, and Bylaw as per the District's Delegation of Authority Bylaw.

The following conditions will apply to the Commissary Kitchen use and be contained in the TUP:

1. No grease laden fumes, food makers are to be small batch and low level cooking operators.
2. No onsite restaurants or retail sales permitted.
3. Delivery is permitted subject to being delivered by the Commissary Kitchen operator.
4. Each Commissary Kitchen operator must be issued a business license prior to any commercial uses.
5. Capital Regional District regulations and health and safety forms must be completed prior to the issuance of a business license.

**OPTIONS:**

**Option 1 (recommended):**

That with regard to Temporary Use Permit Application PL001757 for 7180 East Saanich Road, staff schedule an opportunity to be heard at a future Council meeting.

Following the consideration of public input, the following recommendations should be considered:

That following receipt of public input, Temporary Use Permit PL001757 be authorized for issuance for a period of three (3) years.

**Option 2:**

Council refer Temporary Use Permit Application PL001757 for 7180 East Saanich Road to the Advisory Planning Commission (APC) and that the Commission consider the following:

- Is the APC supportive of the application?
- Are there any substantial issues Council should consider?

**Option 3:**

Council provide alternative direction.

**Option 4:**

Council deny the Temporary Use Permit request.

**CONCLUSION:**

The proposed use of the church kitchen facility to be used as a Commissary Kitchen would support small-scale batch cooking and the conditions of the TUP would need to be met at the time of a business licence application. The TUP would be valid for 3 years with the option to extend for an additional 3 years.

Report written by:	Davin Contois, Development Planner
Respectfully submitted by:	Kerri Clark, Manager of Development Services
Concurrence by:	Jarret Matanowitsch, Director of Planning, Building, and Bylaw Services
Concurrence by:	Christine Culham, Chief Administrative Officer

**ATTACHMENTS:**

Appendix A: Letter of Rationale

Appendix B: Site Plan

Appendix C: Site Context Plan

Appendix D: Heritage Designation Bylaw No. 2153

Appendix E: Draft Temporary Use Permit

## **Temporary Use Permit - 7180 East Saanich Road**

In March 2024, Central Saanich United Church received permission from the District to build an addition on the rear of the Sanctuary which would accommodate washrooms, a multi-purpose room, offices and a commercial kitchen. After completion of the addition, and the kitchen receiving Health approval, it was determined that the commercial kitchen could not be leased out to other users as it does not meet the Central Saanich Zoning Bylaw.

The concept prior to construction was to provide an area where people could come and make jam or baked goods for farmer's markets, and other small type entrepreneurs could come and rent the kitchen. There were also the ideas that cooking classes could operate from these premises.

It was also planned that should someone wish to rent the facility for a wedding, memorial service, birthday etc., they could rent the kitchen and hall so the whole function could take place within this area.

We are asking for Central Saanich Council to consider a Temporary Use Permit for the commercial kitchen to allow Kitchen/Food processing as a permitted use for the property. We also would like to rent the whole facility out for special functions as mentioned above.

We hope that Council sees this in a positive light and that they will approve the Temporary Use Permit for this site.

Respectfully submitted

Alan Cameron

Trustee





# SHADY CREEK CHURCH

ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
FINLAYSON BONET ARCHITECTURE LTD. #4 - 7855 EAST SAANICH ROAD, SAANICHTON, BC V8M 2B4 PHONE: 250-656-2224 ARCHITECT OF RECORD: SILVIA BONET, ARCHITECT AIBC	SKYLINE ENGINEERING 380 - 4243 GLANFORD AVENUE, VICTORIA, BC V8Z 4B9 PHONE: 250-590-4133 ENGINEER OF RECORD: CORD MACLEAN, P.ENG., LEED AP, P. ENG	WEIR DESIGN & ENGINEERING INC. 3309 KEATS STREET, VICTORIA, BC V8P 4B2 PHONE: 250-590-2717 ENGINEER OF RECORD: JASON WEIR, P.ENG., LEED AP	PARALLEL ENGINEERING LTD. 5056 CORDOVA BAY ROAD, VICTORIA, BC V8Y 2K4 PHONE: 250-514-9259 ENGINEER OF RECORD: STEVE COOKE, P. ENG.

**ISSUED FOR BUILDING PERMIT**  
**NOVEMBER 30, 2023**









FLOOR ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
F1		<b>CONCRETE SLAB ON GRADE</b> <ul style="list-style-type: none"> <li>100mm REINFORCED CONCRETE SLAB ON GRADE</li> <li>6mm POLYETHYLENE VAPOUR BARRIER</li> <li>R15 (150mm) RIGID INSULATION</li> <li>300mm COMPACTED GRAVEL FILL</li> <li>BEARING SOIL</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>EXTEND RIGID INSULATION 1220mm IN FROM FOUNDATION WALL.</li> </ul>				
F2		<b>ATTIC FLOOR ASSEMBLY</b> <ul style="list-style-type: none"> <li>19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>PRE-ENGINEERED ATTIC TRUSSES WITH 38x235 BOTTOM CORD @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>BATT INSULATION TO FILL CAVITY</li> <li>16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
F3		<b>BELL TOWER FLOOR ASSEMBLY 1</b> <ul style="list-style-type: none"> <li>19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x190 FLOOR JOISTS @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>BATT INSULATION TO FILL CAVITY</li> <li>6mm POLY VAPOUR BARRIER</li> <li>13mm GYPSUM CEILING BOARD</li> </ul>				

WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
W1		<b>EXTERIOR WALL 1</b> <ul style="list-style-type: none"> <li>FIBRE CEMENT LAP SIDING</li> <li>19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>140mm (R22) BATT INSULATION</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>				
W2		<b>EXTERIOR WALL 2</b> <ul style="list-style-type: none"> <li>FIBRE CEMENT PANEL SIDING W/ EASYTRIM REVEALS</li> <li>19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>140mm (R22) BATT INSULATION</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>				
W3		<b>BELL TOWER WALL</b> <ul style="list-style-type: none"> <li>FIBRE CEMENT LAP SIDING</li> <li>19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>TYPE A BUILDING PAPER</li> <li>13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>16mm PLYWOOD SHEATHING</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>13mm PLYWOOD ON INTERIOR FACE OF ASSEMBLY FOR LADDER SUPPORT.</li> </ul>				
W4		<b>EXTERIOR WALL 3</b> <ul style="list-style-type: none"> <li>FIBRE CEMENT LAP SIDING</li> <li>19mm PRESSURE TREATED WOOD STRAPPING @ 400 O.C. (PRESSURE TREAT ALL CUT SIDES)</li> <li>SELF-ADHERED VAPOUR PERMEABLE SHEATHING MEMBRANE</li> <li>13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x140 WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCTURAL)</li> <li>140mm (R22) BATT INSULATION</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm TYPE 'X' GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM WALLBOARD FOR GYPSUM WALLBOARD.</li> </ul>	1.0 HR F.R.R.	BCBC 2018 (Table 9.10.3.1-A) EW1a		

FOUNDATION WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
FD1		<b>FOUNDATION WALL 1</b> <ul style="list-style-type: none"> <li>150mm REINFORCED CONCRETE FOUNDATION WALL WITH A 400mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> <li>SELF-ADHERED SBS WATERPROOF MEMBRANE</li> <li>POLY PROPYLENE DRAINAGE MAT</li> <li>DRAIN ROCK</li> <li>FILTER FABRIC</li> <li>CLEAN BACKFILL</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
FD2		<b>FOUNDATION WALL 2</b> <ul style="list-style-type: none"> <li>EXISTING CONCRETE FOUNDATION WALL</li> <li>60mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL</li> <li>200mm REINFORCED CONCRETE FOUNDATION WALL WITH A 300mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> </ul>				
FD3		<b>FOUNDATION WALL 3</b> <ul style="list-style-type: none"> <li>150mm REINFORCED CONCRETE FOUNDATION WALL WITH A 400mm WIDE x 200mm DEEP CONCRETE STRIP FOOTING - REFER TO STRUCTURAL</li> </ul>				

ROOF ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
R1		<b>ROOF ASSEMBLY 1</b> <ul style="list-style-type: none"> <li>ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>#15 FELT UNDERLAY</li> <li>16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>PRE-ENGINEERED SCISSOR TRUSSES @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>R14 BATT INSULATION BETWEEN BOTTOM CORD OF TRUSSES WITH R40 BLOWN IN INSULATION ABOVE</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm GYPSUM CEILING BOARD</li> </ul>			8.499 RSI (R48.2)	
R2		<b>ROOF ASSEMBLY 2</b> <ul style="list-style-type: none"> <li>ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>#15 FELT UNDERLAY</li> <li>16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>PRE-ENGINEERED ATTIC TRUSSES @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>R14 BATT INSULATION BETWEEN BOTTOM CORD OF TRUSSES WITH R40 BLOWN IN INSULATION ABOVE</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM CEILING BOARD FOR GYPSUM CEILING BOARD.</li> </ul>			8.499 RSI (R48.2)	
R3		<b>ROOF ASSEMBLY 3</b> <ul style="list-style-type: none"> <li>ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>#15 FELT UNDERLAY</li> <li>16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>40mm x 90mm PURLINS AT 600mm OC PERPENDICULAR TO ROOF JOISTS</li> <li>40mm x 285mm ROOF JOISTS @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>R14 BATT INSULATION</li> <li>6mm POLY VAPOUR BARRIER</li> <li>16mm GYPSUM CEILING BOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT GYPSUM CEILING BOARD FOR GYPSUM CEILING BOARD.</li> </ul>			8.499 RSI (R48.2)	
R4		<b>BELL TOWER ROOF ASSEMBLY</b> <ul style="list-style-type: none"> <li>ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING</li> <li>#15 FELT UNDERLAY</li> <li>16mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x140 RAFTER (REFER TO STRUCTURAL)</li> </ul>				

PARTITION ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
P1		<b>38x89 PARTITION</b> <ul style="list-style-type: none"> <li>13mm GYPSUM WALLBOARD</li> <li>38x89 WOOD STUDS @ 400mm O.C.</li> <li>ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
P2		<b>38x140 PARTITION</b> <ul style="list-style-type: none"> <li>13mm GYPSUM WALLBOARD</li> <li>38x140 WOOD STUDS @ 400mm O.C.</li> <li>ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> </ul>				
P3		<b>PARTITION ADJACENT TO EXISTING BUILDING</b> <ul style="list-style-type: none"> <li>16mm TYPE 'X' GYPSUM WALLBOARD</li> <li>13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>38x89 WOOD STUDS @ 400mm O.C.</li> <li>65mm STRUCTURAL SEPARATION (REFER TO STRUCTURAL)</li> <li>NEW LAYER 16mm TYPE 'X' GYPSUM WALLBOARD</li> <li>EXISTING WALL ASSEMBLY</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>				
P4		<b>38x89 PARTITION - FIRE-RATED ASSEMBLY</b> <ul style="list-style-type: none"> <li>16mm GYPSUM WALLBOARD</li> <li>38x89 WOOD STUDS @ 400mm O.C.</li> <li>ACOUSTIC INSULATION</li> <li>16mm GYPSUM WALLBOARD</li> </ul>	1.0 HR F.R.R.	BCBC 2018 W1a		
P5		<b>25x89 SHEAR WALL</b> <ul style="list-style-type: none"> <li>13mm GYPSUM WALLBOARD</li> <li>38x89 WOOD STUDS @ 400mm O.C.</li> <li>ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>13mm PLYWOOD SHEATHING</li> <li>13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.</li> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>				
P6		<b>38x89 SHEAR WALL</b> <ul style="list-style-type: none"> <li>13mm GYPSUM WALLBOARD</li> <li>38x89 WOOD STUDS @ 400mm O.C.</li> <li>ACOUSTIC INSULATION @ WASHROOM SEPARATIONS</li> <li>13mm PLYWOOD SHEATHING</li> <li>13mm GYPSUM WALLBOARD</li> </ul> <b>NOTE:</b> <ul style="list-style-type: none"> <li>REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.</li> </ul>	1.0 HR F.R.R.	BCBC 2018 W1a		
P7		<b>MECHANICAL SHAFT WALL</b> <ul style="list-style-type: none"> <li>25mm SHAFTLINER</li> <li>CT STUDS</li> <li>1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD</li> </ul>	2 HOUR	ULC W452 SYSTEM 'A'		

CEILING ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
C1		<b>MECHANICAL ROOM LID - FIRE RATED</b> <ul style="list-style-type: none"> <li>19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL)</li> <li>PRE-ENGINEERED ATTIC TRUSSES WITH 38x235 BOTTOM CORD @ 600mm O.C. (REFER TO STRUCTURAL)</li> <li>BATT INSULATION TO FILL CAVITY</li> <li>2 LAYERS 16mm TYPE 'X' GYPSUM CEILING BOARD</li> </ul>	1.0 HR F.R.R.	BCBC2018 Table 9.10.3.1-B F4a		



**FINLAYSON BONET**  
 ARCHITECTURE LTD.  
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 Phone: 250-656-2224  
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30Nov23 Issued for BP  
 09Jan23 Revised as noted  
 13Dec22 Revised as noted  
 09Dec22 Issued for Construction  
 05Dec22 Revised as noted  
 24Oct22 Issued for BP  
 Rev Date Description  
 Checked: SMB  
 Drawn: RJC  
 Scale: AS NOTED  
 Date: JAN 02, 2024

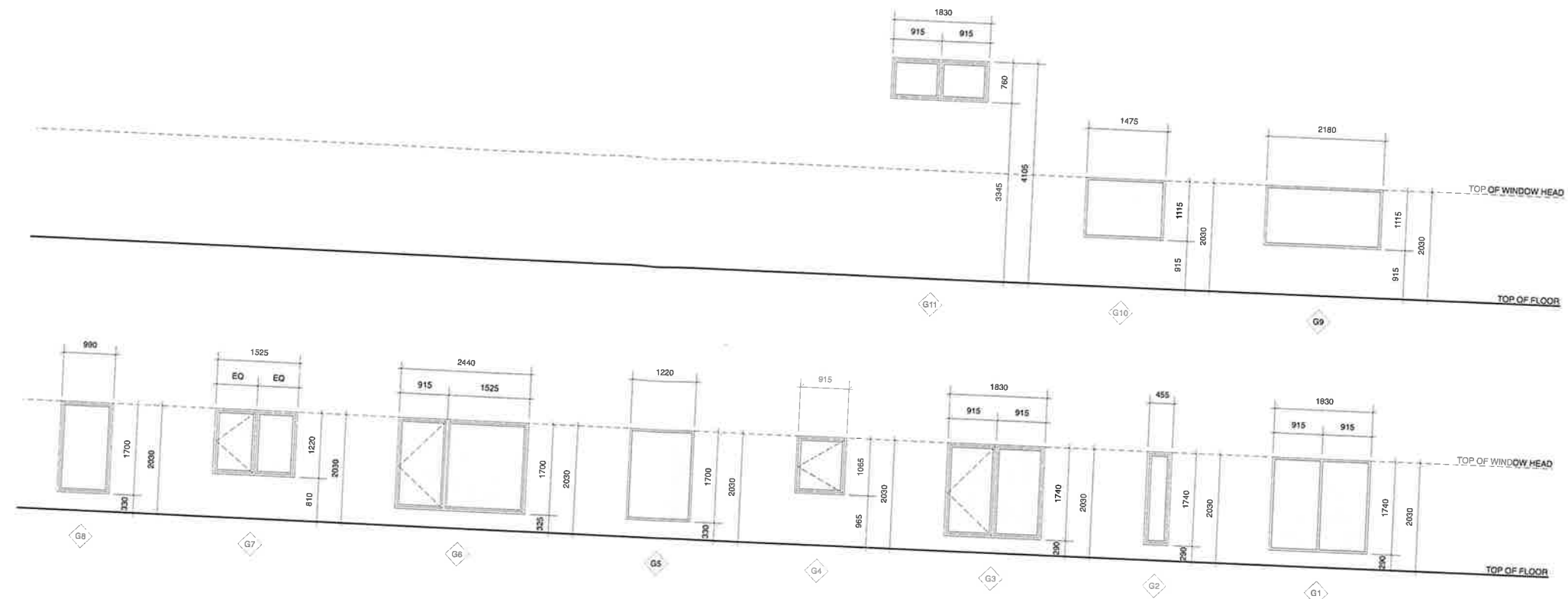
Project Name:  
**SHADY CREEK CHURCH**  
 7180 EAST SAANICH RD,  
 SAANICHTON, BC V8M 1Y4  
 Drawing Title:

**ASSEMBLIES**

Drawing No: **A1.01**  
 Project No: **20383**

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2 WINDOW SCHEDULE  
A1.02 Scale: N.T.S.

### DOOR SCHEDULE

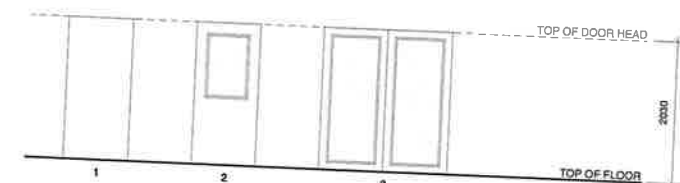
Door #	Location Info	Style	Size	Swing	Material	Finish	Label	Glazing	Hdwe	Material	Frame	Finish	Notes
D101	ENTRY TO EXTERIOR	3	1830 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	
D102	MULTIPURPOSE ROOM TO EXTERIOR	3	1830 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	CL GA
D104	OPEN AREA TO MECHANICAL ROOM	1	1525 x 2030	LH / RH	HM	PT	-	TEMP'D	PANIC	PS	PT	-	CL GA
D105	CORRIDOR TO PASTOR'S OFFICE	2	915 x 2030	RH	WD	PT	45 MIN	-	OFFICE	PS	PT	-	CL GA
D106	CORRIDOR TO KITCHEN	1	915 x 2030	RH	WD	PT	-	TEMP'D	OFFICE	WD	PT	-	
D107	CORRIDOR TO MULTIPURPOSE ROOM	2	915 x 2030	LH	WD	PT	-	-	BARN DOOR	WD	PT	-	BARN DOOR
D108	MULTIPURPOSE ROOM TO JANITOR CLOSET	1	710 x 2030	LHR	WD	PT	-	TEMP'D	PASSAGE	WD	PT	-	WS
D109	MULTIPURPOSE ROOM TO CLOSET	1	1830 x 2030	LH / RH	WD	PT	-	-	PASSAGE	WD	PT	-	WS
D110	CORRIDOR TO CORRIDOR	1	915 x 2030	LH	WD	PT	-	-	SLIDER	WD	PT	-	SLIDER
D111	CORRIDOR TO WASHROOM	1	760 x 2030	RH	WD	PT	-	-	BARN DOOR	WD	PT	-	BARN DOOR
D112	CORRIDOR TO WASHROOM	1	760 x 2030	LH	WD	PT	-	-	PRIVACY	WD	PT	-	WS
D113	CORRIDOR TO ACCESSIBLE WASHROOM	1	915 x 2030	RHR	WD	PT	-	-	PRIVACY	WD	PT	-	WS
D113	CORRIDOR TO RECEPTION	2	915 x 2030	LH	WD	PT	-	TEMP'D	OFFICE	WD	PT	-	CL WS

### ABBREVIATIONS USED IN DOOR SCHEDULE

RH	RIGHT HAND SWING	ENTRY	KEYED LOCKSET
LH	LEFT HAND SWING	P/PULL	PUSH - PULL HARDWARE
RHR	RIGHT HAND REVERSE SWING	OFFICE	KEYED LOCKSET WITH INTERIOR BUTTON
LHR	LEFT HAND REVERSE SWING	PRIVACY	LOCKSET WITH INTERIOR BUTTON
RHRA	RIGHT HAND REVERSE ACTIVE LEAF	PANIC	PUSHBAR EXIT DEVICE
DBL	DOUBLE ACTING	PASSAGE	LOCKSET W/O ANY LOCK
HM	HOLLOW METAL	ROLLCATCH	ROLLER CATCH HARDWARE
SCW	SOLID CORE WOOD	F/DUMMY	KEYLESS DOOR ENTRY SYSTEM
HCW	HOLLOW CORE WOOD	S/DUMMY	FULL DUMMY DOOR KNOB
AL	ALUMINUM		SINGLE DUMMY DOOR KNOB
PS	PRESSED STEEL	CL	DOOR CLOSER
ST	STEEL	WS	WALL STOP
WD	SOLID WOOD	FS	FLOOR STOP
GL	GLAZING	ELEC	ELECTRIC STRIKE
FACTORY	FACTORY FINISH	PR	PROXIMITY READER
FACTORY	FACTORY PRIMED - SITE PAINTED	GA	WEATHERSTRIPPING GASKETS
CLEAR	CLEAR ANODIZED	KR	KICKPLATE
AND	CLEAR ANODIZED	THROWS	FLUSH BOLTS TOP AND BOTTOM
FLOAT	STANDARD FLOAT GLASS	HC	HANDICAP ACTUATOR
WIRED	GEORGIAN WIRED GLASS	MC	MORTISE CYLINDER
TEMP'D	TEMPERED GLASS	PKT	ROCKET DOOR
LSG	LAMINATED SAFETY GLASS	SLIDER	SLIDING DOOR

### DOOR SCHEDULE GENERAL NOTES

- ALL DOORS INDICATED TO HAVE A FIRE RESISTANCE RATING IN SCHEDULE TO HAVE A MAXIMUM OF A 1/2" UNDERCUT BETWEEN FINISHED FLOOR AND UNDERSIDE OF RATED DOOR.
- ALL DOORS INDICATED TO HAVE A FIRE RESISTANCE RATING IN SCHEDULE TO BE PROVIDED WITH POSITIVE LATCHING HARDWARE DESIGNED TO HOLD THE DOOR IN A CLOSED POSITION TO ENSURE CONTINUITY OF FIRE RESISTANCE RATING.
- ALL ENTRY, PRIVACY AND PASSAGE DOOR HARDWARE TO BE LEVER ACTION.



1 DOOR SCHEDULE  
A1.02 Scale: N.T.S.



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2 09Jan23 Revised as noted

1 13Dec22 Revised as noted

06Dec22 Issued for Construction

06Dec22 Revised as noted

24Oct22 Issued for BP

Rev Dir e Description

Checked SMB

Drawn RJC

Scale AS NOTED

Date

JAN 02, 2024

Project Name

SHADY CREEK

CHURCH

7180 EAST SAANICH RD.,

SAANICHTON, BC V8M 1Y4

Drawing Title

DOOR & WINDOW SCHEDULES

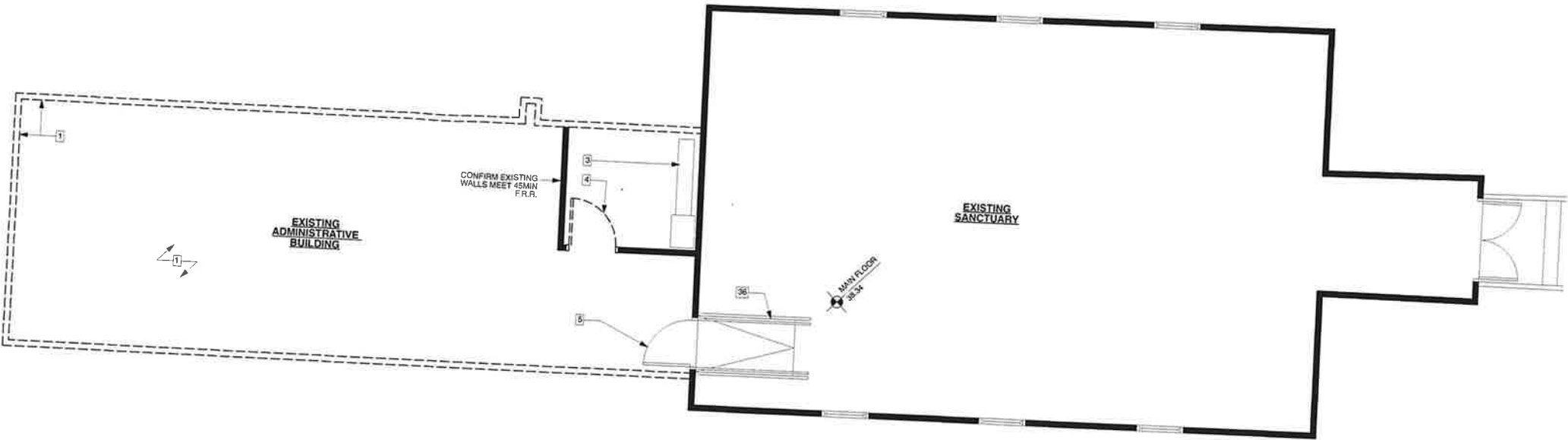
Drawing No.

A1.02

Project No.

20383

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1 EXISTING CHURCH PLAN  
A2.00 Scale: 1:50

**KEY NOTES**

1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.

2. NOT USED.

3. EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.

4. REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.

5. EXISTING DOOR TO REMAIN.

6. 400mm x 200mm SHELF MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.

7. WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.

8. BABY CHANGING TABLE TO BE "KOALA CLASSIC HORIZONTAL BABY CHANGING STATION" (56100) OR SIMILAR. PROVIDE BLOCKING IN WALL.

9. HAND DRYERS AS PER OWNER. PROVIDE BLOCKING IN WALL.

10. SURFACE MOUNTED SOAP DISPENSER.

11. SURFACE MOUNTED PAPER ROLL HOLDER.

12. PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.

13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 760mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 760mm TO 838mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.

14. COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.

15. TOILET TANK LID TO BE BOLTED DOWN.

16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).

17. BELL TOWER ACCESS LADDER.

18. PULL-DOWN ATTIC ACCESS LADDER.

19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.

20. CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.

21. INSULATED BELL TOWER ACCESS HATCH.

22. HEAVY TIMBER POST - REFER TO STRUCTURAL.

23. HOT WATER TANK - REFER TO STRUCTURAL.

24. BELL TOWER VENT - PAINTED.

25. LINE OF STRUCTURE BELOW.

26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.

27. ROOF VENT (50 NFA MINIMUM).

28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.

29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.

30. CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.

31. UNDER COUNTER STORAGE.

32. OFFICE PRINTER.

33. JANITOR'S SINK.

34. ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.

35. PREFINISHED PERFORATED METAL SOFFIT.

36. EXISTING RAMP TO REMAIN.

37. MECHANICAL VENT (REFER TO MECHANICAL).

38. LINE OF BELL TOWER ABOVE.

39. LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.

40. SLAB THICKENING - REFER TO STRUCTURAL.

41. CONFIRM EXISTING WALLS MEET 45 MIN F R R.

**SYMBOL LEGEND**

D0 DOOR TAG

G1 WINDOW TAG

P1 ASSEMBLY TAG

S SECTION MARKER

DETAIL MARKER

KEY NOTE TAG

MATERIALS TAG

EMERGENCY LIGHT (SEE ELECTRICAL)

FIRE EXTINGUISHER

EXIT SIGN

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2	23Nov23	Revised as noted
3	13Dec22	Revised as noted

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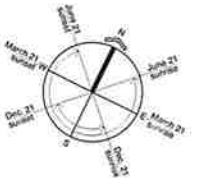
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**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD.  
SAANICHTON, BC V8M 1Y4

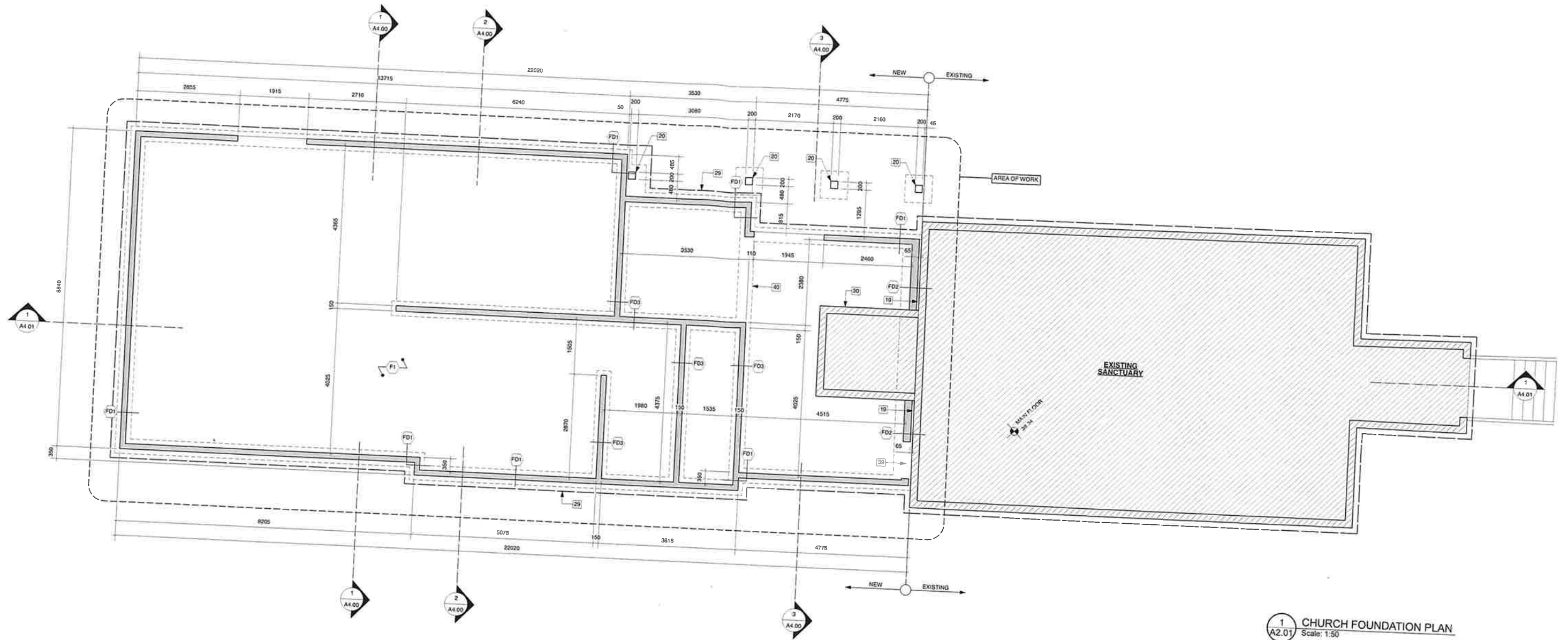
Drawing Title  
**EXISTING & DEMO PLAN**

Project No  
**20383**

Drawing No  
**A2.00**

NOVEMBER 30, 2023





1 CHURCH FOUNDATION PLAN  
A2.01 Scale: 1:50

**KEY NOTES**

- REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.
- NOT USED.
- EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.
- REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.
- EXISTING DOOR TO REMAIN.
- 400mm x 200mm SHELF MOUNTED NOT MORE THAN 1200mm ABOVE THE FLOOR. PROVIDE BLOCKING IN WALL.
- WALL MOUNTED ACCESSIBLE SINK. INSULATE EXPOSED PIPING BELOW SINK. PROVIDE BLOCKING IN WALL.
- BABY CHANGING TABLE TO BE "KOALA CLASSIC HORIZONTAL BABY CHANGING STATION" (KB100) OR SIMILAR. PROVIDE BLOCKING IN WALL.
- HAND DRYERS AS PER OWNER. PROVIDE BLOCKING IN WALL.
- SURFACE MOUNTED SOAP DISPENSER.
- SURFACE MOUNTED PAPER ROLL HOLDER.
- PROVIDE ONE GRAB BAR AT LEAST 600mm LONG OR TWO GRAB BARS AT LEAST 300mm LONG AND LOCATED EITHER SIDE OF THE FLUSH VALVE. PROVIDE BLOCKING IN WALL.
- L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 750mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 750mm TO 838mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
- COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.
- TOILET TANK LID TO BE BOLTED DOWN.
- LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
- BELL TOWER ACCESS LADDER.
- PULL-DOWN ATTIC ACCESS LADDER.
- 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
- CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.
- INSULATED BELL TOWER ACCESS HATCH.
- HEAVY TIMBER POST - REFER TO STRUCTURAL.
- HOT WATER TANK TO HAVE SEISMIC RESTRAINTS.
- BELL TOWER VENT - PAINTED.
- LINE OF STRUCTURE BELOW.
- PRE-FINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.
- ROOF VENT (50 NFA MINIMUM).
- NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
- 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
- CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.
- UNDER COUNTER STORAGE.
- OFFICE PRINTER.
- JANITOR'S SINK.
- ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.
- PRE-FINISHED PERFORATED METAL SOFFIT.
- EXISTING RAMP TO REMAIN.
- MECHANICAL VENT (REFER TO MECHANICAL).
- LINE OF BELL TOWER ABOVE.
- LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.
- SLAB THICKENING - REFER TO STRUCTURAL.
- CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.

**SYMBOL LEGEND**

- DOOR TAG
- WINDOW TAG
- ASSEMBLY TAG
- SECTION MARKER
- DETAIL MARKER
- KEY NOTE TAG
- MATERIALS TAG
- EMERGENCY LIGHT (SEE ELECTRICAL)
- FIRE EXTINGUISHER
- EXIT SIGN

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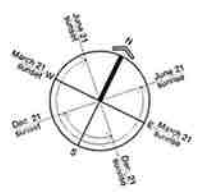
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Checked	SMB	
Drawn	RJC	
Scale	1:50	
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2	09Jan23	Revised as noted

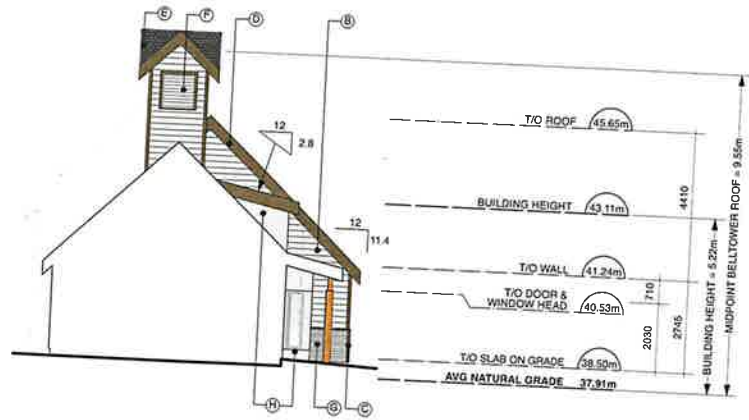
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**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD.,  
SAANICHTON, BC V8M 1Y4

Drawing Title  
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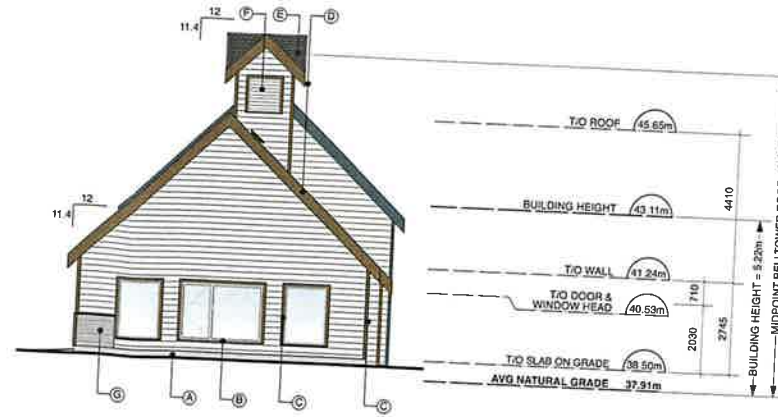
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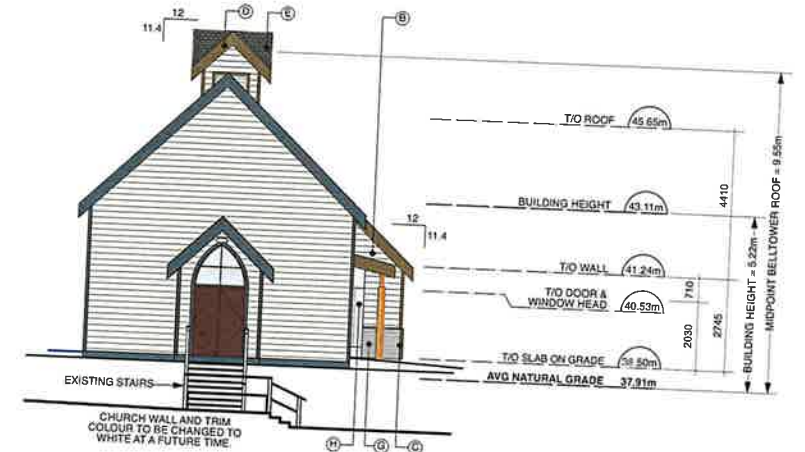




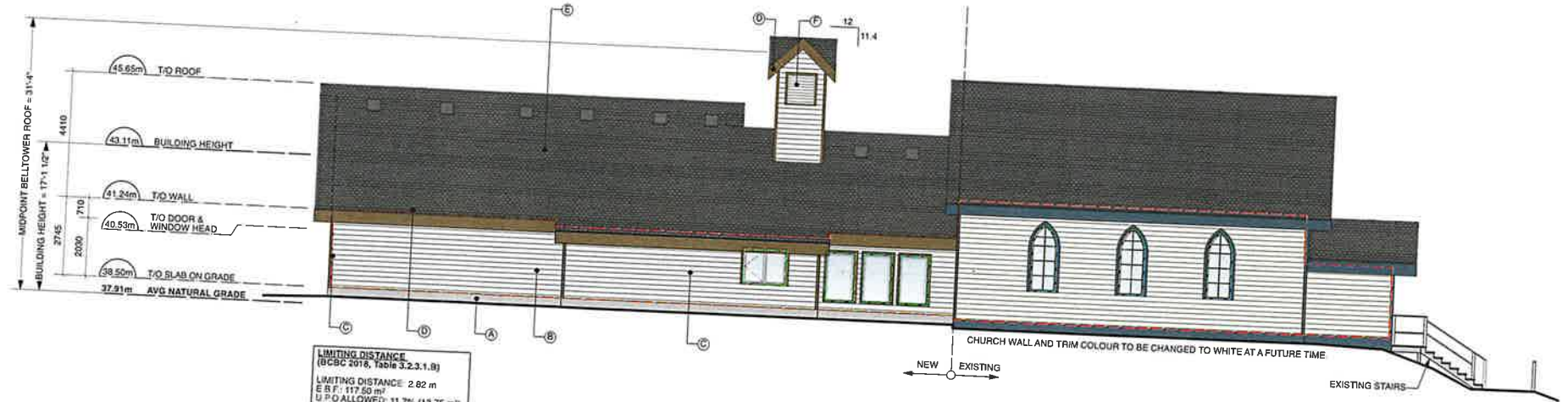
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4 WEST ELEVATION  
Scale: 1:100



3 EAST ELEVATION  
Scale: 1:100



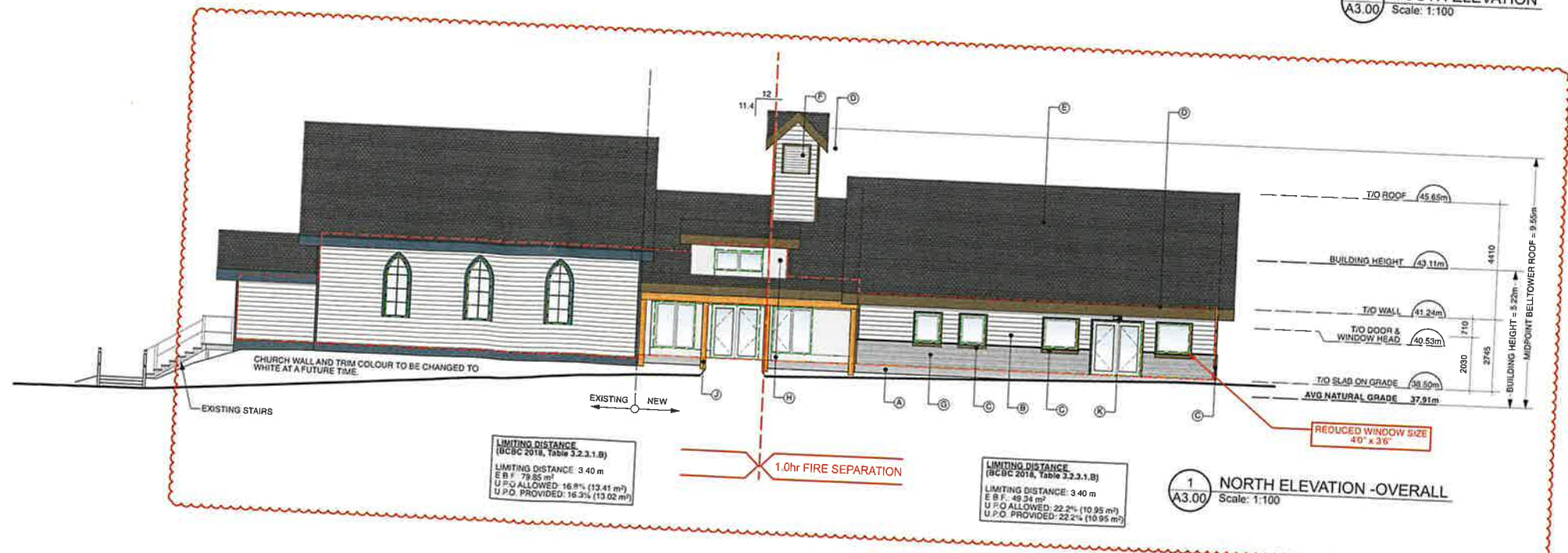
2 SOUTH ELEVATION  
Scale: 1:100

#### MATERIALS LEGEND

- A. EXPOSED CONCRETE
- B. HORIZONTAL FIBRE CEMENT SHIPLAP CLADDING WITH FACING TO MATCH EXISTING CHURCH - PAINTED
- C. 3 1/2" FIBRE CEMENT CORNER, DOOR & WINDOW TRIM - PAINTED + 5 1/2" WINDOW APRON TRIM
- D. COMB FACE FASCIA - PAINTED
- E. ASPHALT OR FIBREGLASS SHINGLE TO MATCH EXISTING
- F. BELL TOWER VENT - PAINTED
- G. HORIZONTAL FIBRE CEMENT SHIPLAP CLADDING WITH 4" FACING - PAINTED
- H. FIBRE CEMENT PANELS - PAINTED
- J. TIMBER POST & BEAM
- K. DOWNCAST LED LIGHTING

#### MATERIALS LEGEND

- FASCIA, CORNER TRIM, DOOR TRIM & WINDOW TRIM
- PANEL & LAP CLADDING
- NEW WINDOW & DOORS & BELL TOWER VENTS
- TIMBER BEAM AND POST



1 NORTH ELEVATION - OVERALL  
Scale: 1:100



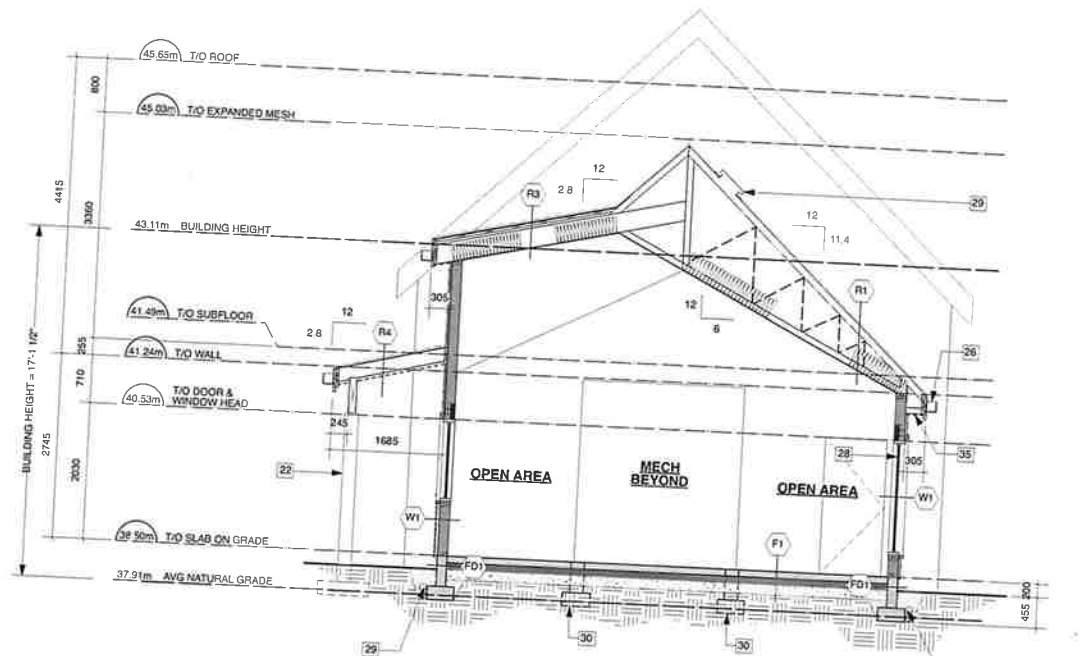
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Checked		SMB
Drawn		RJC
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Date		JAN 02, 2024

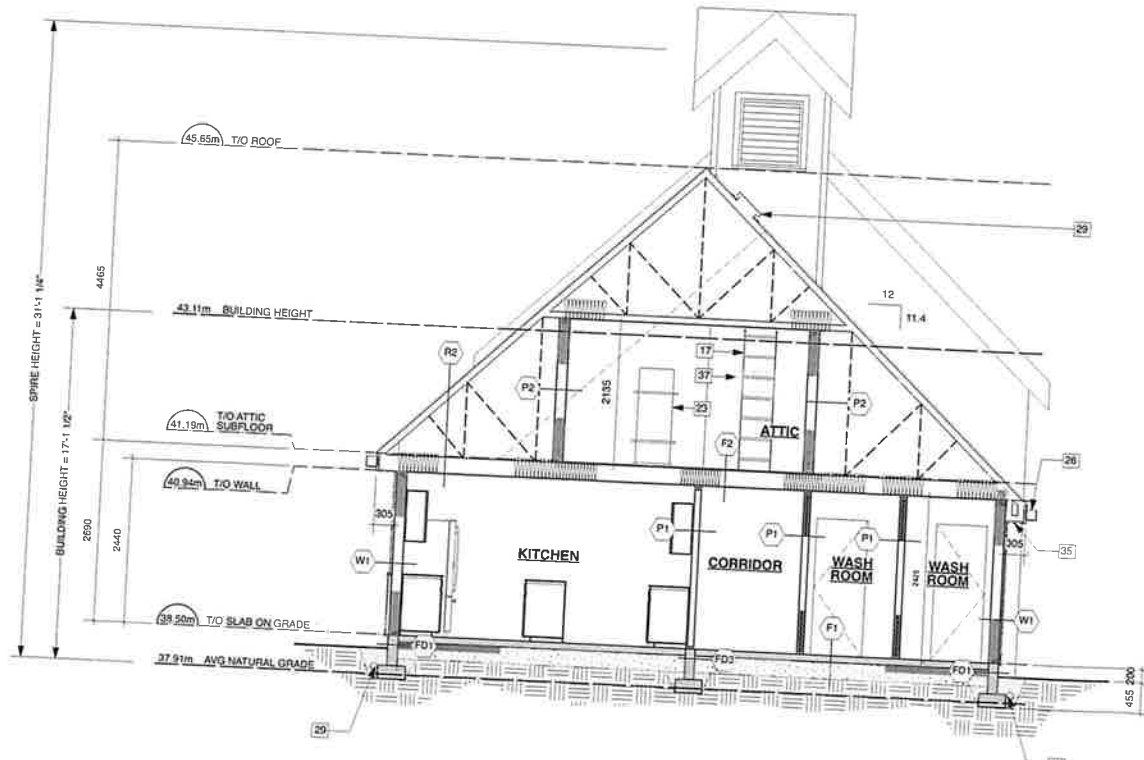
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Drawing Title

**ELEVATIONS**

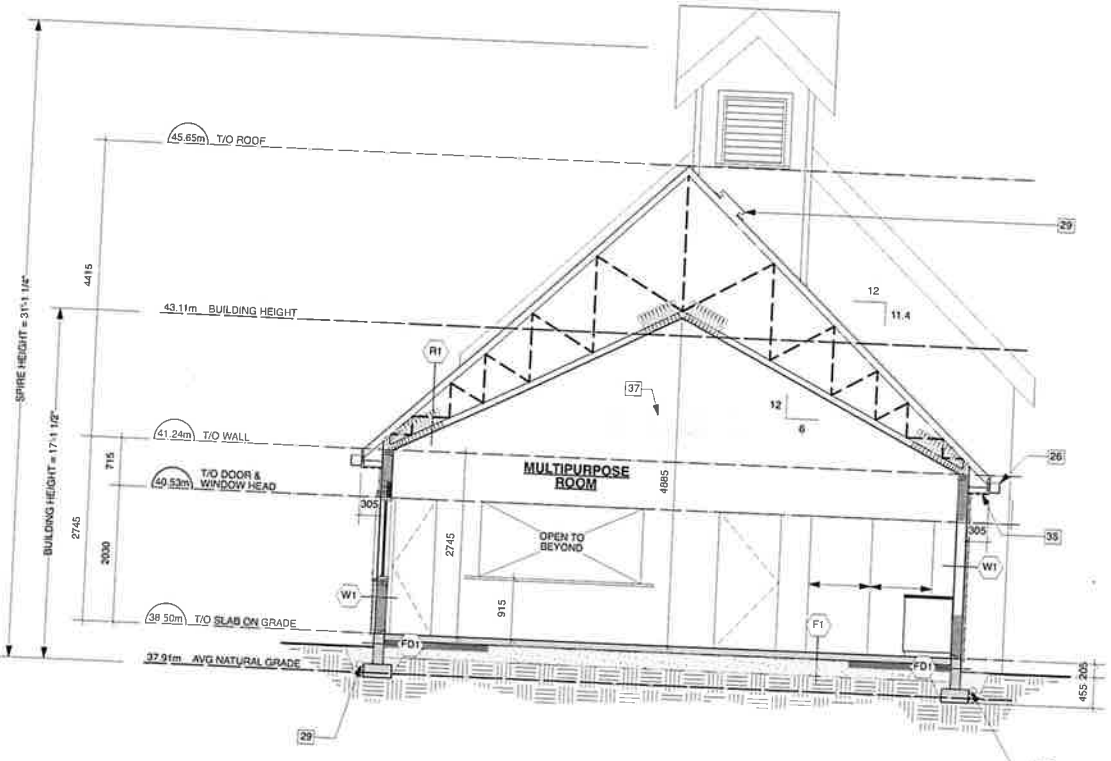
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Project No  
**20383**



**3 BUILDING SECTION 3**  
Scale: 1:50



**2 BUILDING SECTION 2**  
Scale: 1:50



**1 BUILDING SECTION 1**  
Scale: 1:50

SYMBOL LEGEND	
	DOOR TAG
	WINDOW TAG
	ASSEMBLY TAG
	SECTION MARKER
	DETAIL MARKER
	KEY NOTE TAG
	MATERIALS TAG
	EMERGENCY LIGHT (SEE ELECTRICAL)
	FIRE EXTINGUISHER
	EXIT SIGN

#### KEY NOTES

1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSE OF OFF-SITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.
2. NOT USED.
3. EXISTING FURNACE AND DUCTING TO REMAIN - REFER TO MECHANICAL.
4. REMOVE EXISTING DOOR FRAME, DOOR SLAB AND HARDWARE AND DISPOSE OF OFF-SITE.
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13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 760mm LONG MOUNTED WITH FLOOR AND THE VERTICAL COMPONENT 150mm ABOVE THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
14. COAT HOOK MOUNTED NOT MORE 30 MM FROM THE WALL.
15. TOILET TANK LID TO BE BOLTED DOWN.
16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
17. BELL TOWER ACCESS LADDER.
18. PULL-DOWN ATTIC ACCESS LADDER.
19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
20. CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.
21. INSULATED BELL TOWER ACCESS HATCH.
22. HEAVY TIMBER POST - REFER TO STRUCTURAL.
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24. BELL TOWER VENT - PAINTED.
25. LINE OF STRUCTURE BELOW.
26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND DRAINWATER LEADER.
27. ROOF VENT (50 NFA MINIMUM).
28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
30. CONFIRM EXISTING FOUNDATION AND FOOTING ON SITE.
31. UNDER COUNTER STORAGE.
32. OFFICE PRINTER.
33. JANITOR'S SINK.
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41. CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.



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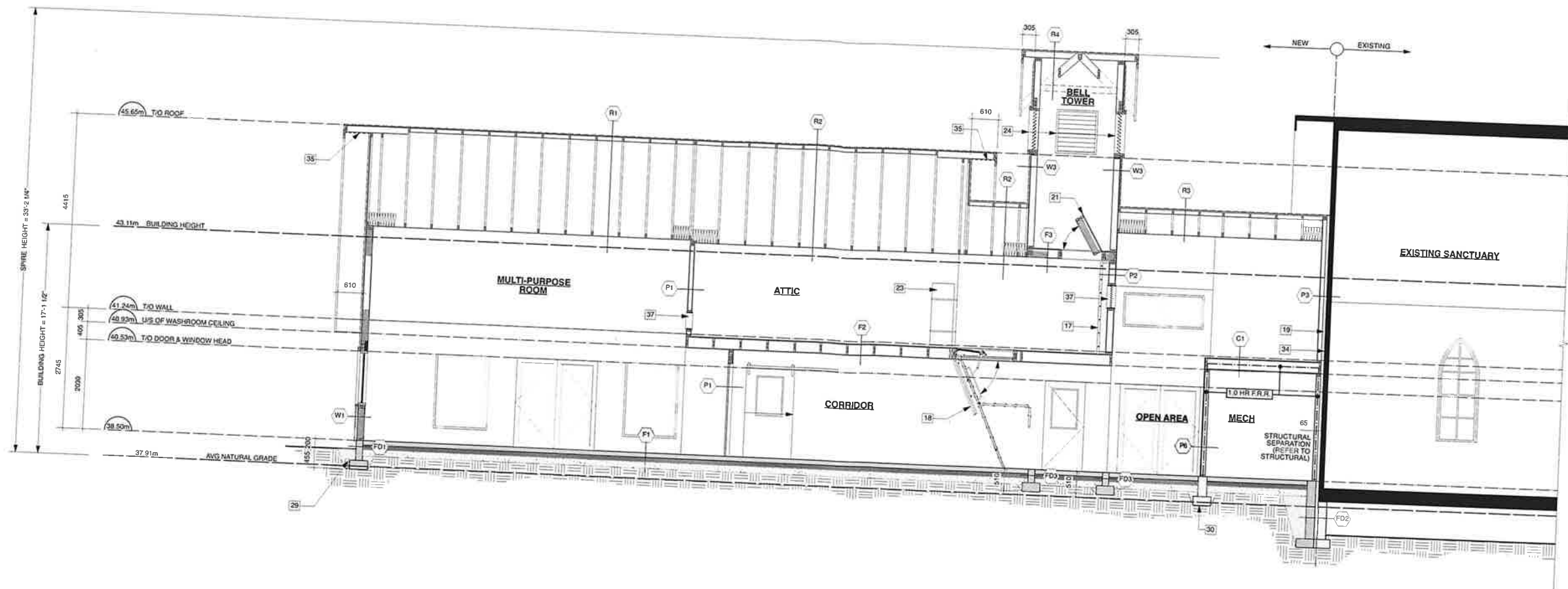
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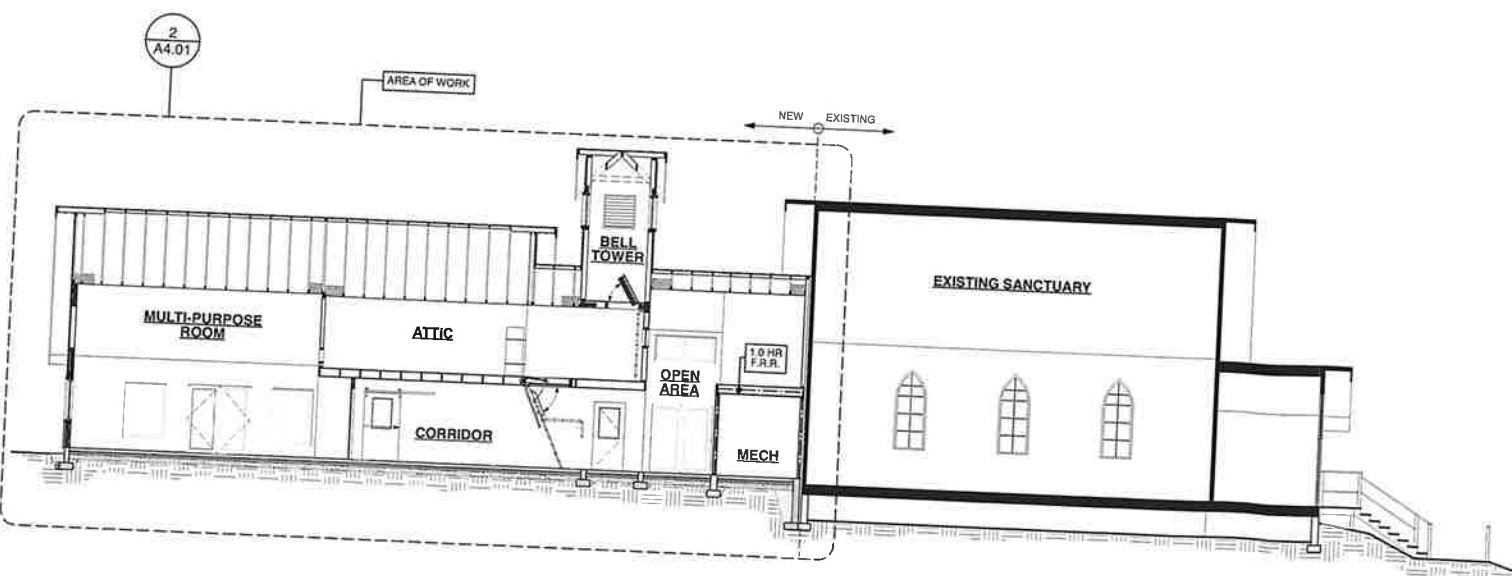
#### BUILDING SECTIONS

Drawing No: **A4.00**  
Project No: **20383**





2 BUILDING SECTION 4 - AREA OF WORK  
A4.01 Scale: 1:50



1 BUILDING SECTION 4  
A4.01 Scale: 1:100

#### KEY NOTES

1. REMOVE EXISTING FOUNDATION, FLOOR, EXTERIOR WALLS AND ROOF AND DISPOSED OF OFFSITE. PREP SITE FOR CONSTRUCTION OF NEW ADMINISTRATIVE OFFICES.
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13. L-SHAPED GRAB BAR WITH HORIZONTAL AND VERTICAL COMPONENTS NOT LESS THAN 750mm LONG MOUNTED WITH THE HORIZONTAL COMPONENT 700mm TO 830mm ABOVE THE FLOOR AND THE VERTICAL COMPONENT 150mm IN FRONT OF THE WATER CLOSET. PROVIDE BLOCKING IN WALL.
14. COAT HOOK MOUNTED NOT MORE 50 MM FROM THE WALL.
15. TOILET TANK LID TO BE BOLTED DOWN.
16. LINE OF ACCESS HATCH TO BELL TOWER ABOVE (TYPICAL).
17. BELL TOWER ACCESS LADDER.
18. PULL-DOWN ATTIC ACCESS LADDER.
19. 65mm STRUCTURAL SEPARATION - REFER TO STRUCTURAL.
20. CONCRETE UPSTAND ON A REINFORCED CONCRETE PAD FOOTING - REFER TO STRUCTURAL.
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25. LINE OF STRUCTURE BELOW.
26. PREFINISHED METAL EAVES TROUGH WITH LEAF GUARD AND RAINWATER LEADER.
27. ROOF VENT (50 NFA MINIMUM)

28. NEW WINDOW TO HAVE STAIN GLASS TREATMENT.
29. 100mm Ø PERIMETER DRAIN AND 100mm Ø PERFORATED FOUNDATION DRAIN - CONNECT TO EXISTING.
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31. UNDER COUNTER STORAGE.
32. OFFICE PRINTER.
33. JANITOR'S SINK.
34. ADD 1 LAYER OF 16mm TYPE 'X' GYPSUM WALLBOARD TO EXISTING WALL ASSEMBLY.
35. PREFINISHED PERFORATED METAL SOFFIT.
36. EXISTING RAMP TO REMAIN.
37. MECHANICAL VENT (REFER TO MECHANICAL).
38. LINE OF BELL TOWER ABOVE.
39. LOCATION OF OPENING IN FOUNDATION WALL TO BE CONFIRMED ON SITE.
40. SLAB THICKENING - REFER TO STRUCTURAL.
41. CONFIRM EXISTING WALLS MEET 45 MIN F.R.R.

#### SYMBOL LEGEND

- DOOR TAG
- WINDOW TAG
- ASSEMBLY TAG
- SECTION MARKER
- DETAIL MARKER
- KEY NOTE TAG
- MATERIALS TAG
- EMERGENCY LIGHT (SEE ELECTRICAL)
- FIRE EXTINGUISHER
- EXIT SIGN



**FINLAYSON  
BONET**  
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.  
Saanichton, BC V8M 2B4  
Phone: 250-656-2224  
email: info@finlaysonbonet.ca

30Nov23 Issued for BP  
2 08Jan23 Revised as noted  
1 13Dec22 Revised as noted  
09Dec22 Issued for Construction  
05Dec22 Revised as noted

24Oct22 Issued for BP  
Rev Date Description  
Checked SMB  
Drawn RJC  
Scale AS NOTED

Date JAN 02, 2024

Project Name  
**SHADY CREEK  
CHURCH**  
7180 EAST SAANICH RD.  
SAANICHTON, BC V8M 1Y4

Drawing Title

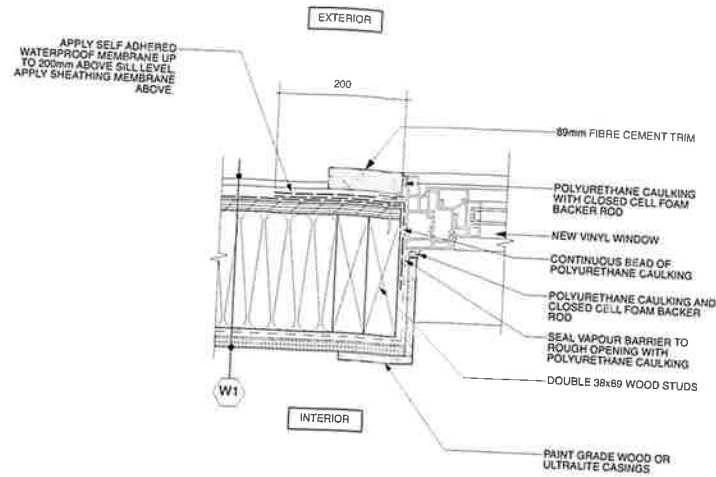
**BUILDING  
SECTIONS**

Drawing No **A4.01**

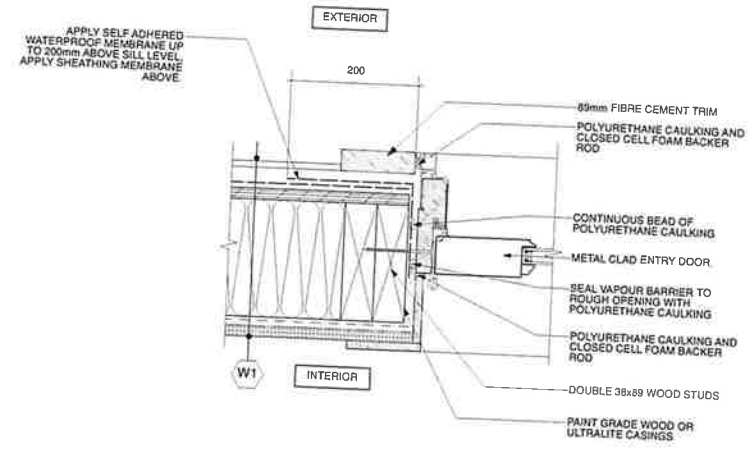
Project No **20383**

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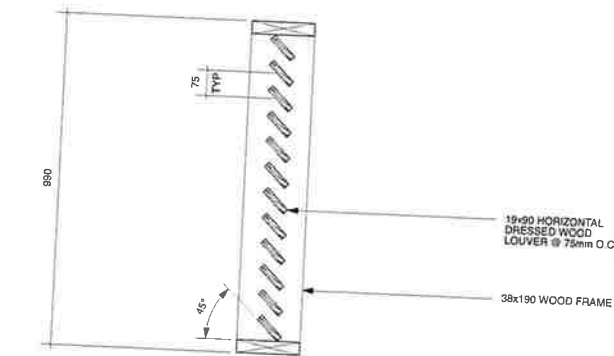




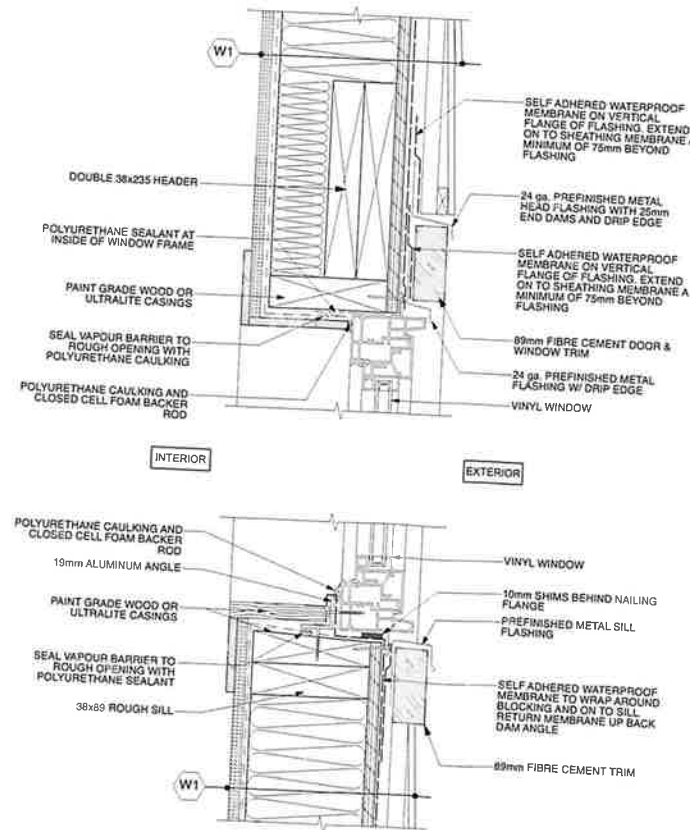
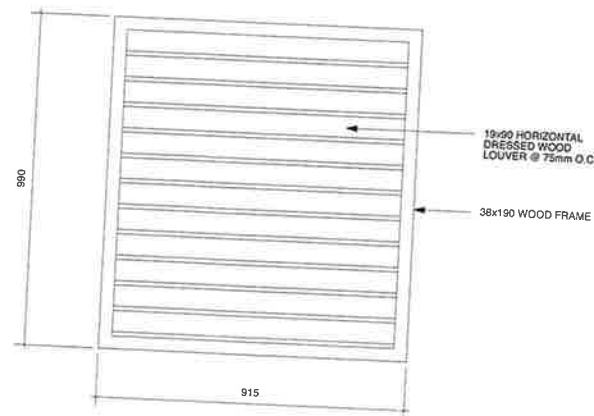
4 WINDOW JAMB - PLAN DETAIL  
Scale: 1:4



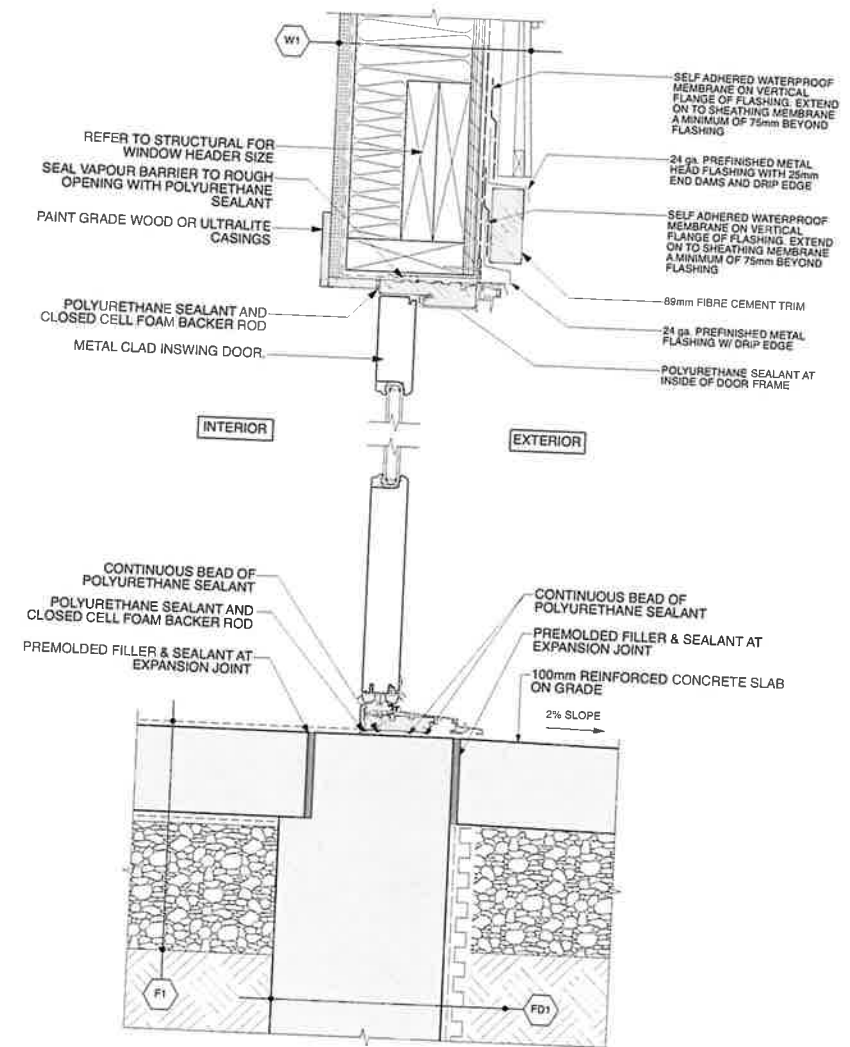
2 DOOR JAMB - PLAN DETAIL  
Scale: 1:4



5 BELL TOWER VENT  
Scale: 1:10



3 WINDOW HEAD & SILL - SECTION DETAIL  
Scale: 1:4



1 DOOR HEAD & SILL - SECTION DETAIL  
Scale: 1:4



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	09Dec22	Issued for Construction
	05Dec22	Revised as noted
	24Oct22	Issued for BP
Checked		SMB
Drawn		RJC
Scale		AS NOTED
Date		JAN 02, 2024

Project Name  
**SHADY CREEK CHURCH**  
7180 EAST SAANICH RD.  
SAANICHTON, BC V8M 1Y4  
Drawing Title

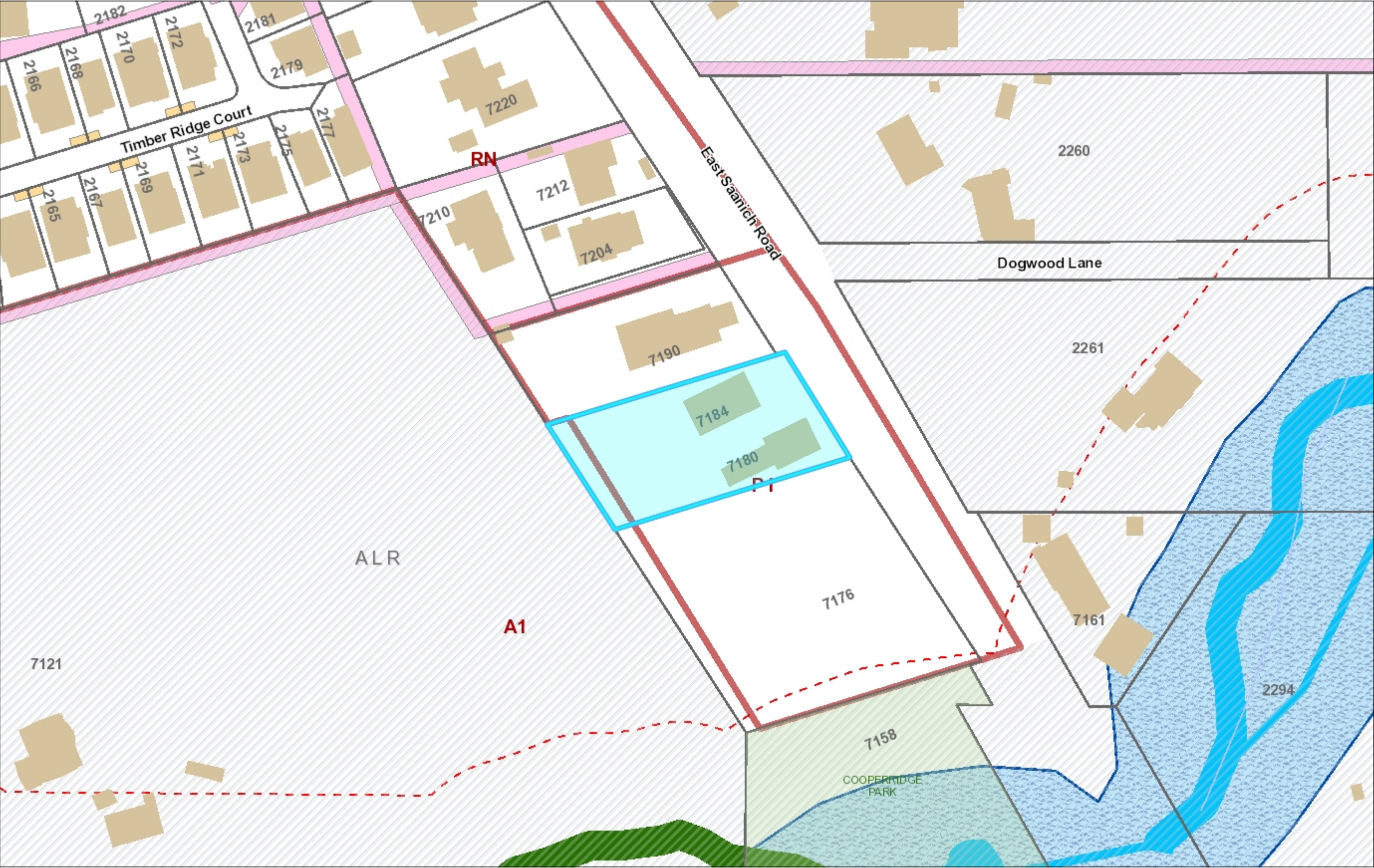
MISC.  
DETAILS

Drawing No. **A5.01**  
Project No. **20383**





# 7180 East Saanich Road - Site Context Map



- Legend**
- District Boundary
  - RoadsSegment\_3k\_1k
  - Address Number\_3K\_500
  - Lot Hooks
  - Parks
  - Parcels
  - Rivers & Creeks\_1K\_100
  - Ponds
  - Building Footprints
  - ALR\_Polygons\_20k
  - Zoning\_Dissolved\_10k
  - Schedule I: Environmental Dev Areas
    - Marine Shorelines DPA (15m landw
    - Terrestrial Sensitive Ecosystems DI
    - Stream
  - Schedule J: Riparian Developm
    - Stream
    - Ditch
    - Ponds
    - Sensitive Aquatic Ecosystems
    - Wetlands and Sensitive Riparian Ar
    - Riparian Development Permit Area:
  - Right of Ways and Easements
    - Private Easement
    - Surveyed Right of Way
    - Unsurveyed Right of Way

1: 1,000



50.8 0 25.40 50.8 Meters





*THE CORPORATION OF THE DISTRICT OF CENTRAL SAANICH*

**BYLAW NO. 2153**

**A Bylaw for Heritage Designation  
(Shady Creek Church – 7180 East Saanich Road)**

---

The purpose of this Bylaw is to designate the land, the exterior of the buildings (Church and hall), and the designate character defining elements of the interior of the church building, as indicated in Schedule A, and located at 7180 East Saanich Road, to be protected as heritage property.

Under its statutory powers, including Section 611 of the Local Government Act, the Municipal Council of the District of Central Saanich in an open meeting assembled enacts the following provisions:

1. That the Church and hall buildings, as indicated in the diagram in Schedule A attached to this bylaw and located at 7180 East Saanich Road (legally described as PID: 029-755-379, Lot A, Section 10, Range 3E, South Saanich Plan, EPP54009, are designated to be protected heritage property.
2. Except as permitted by a Heritage Alteration Permit issued by the District, no person shall undertake any of the following actions in relation to the property protected under this Bylaw:
  - a. Alter the exterior façade of the buildings or structures;
  - b. Alter the interior character defining elements of the Church limited to and specifically the beadboard from wainscot to cap molding, painted lettering “Worship the Lord in the Beauty of Holiness” on the west wall and circular wooden carving in the vestibule of the church building;
  - c. Alter the roof structure or roofing;
  - d. Make a structural change to the building or structures;
  - e. Move the building or structures; or
  - f. Alter, excavate or build on land anywhere on the property.
3. Exemptions to Section 2 where action may be undertaken in relation to the property without first obtaining a Heritage Alteration Permit from the District include:
  - a. Non-structural renovations or alterations to the interior of the building or structure that do not alter the exterior appearance of the building or structure or the interior character defining elements; and
  - b. Non-structural normal repairs and maintenance that do not alter the exterior appearance of the buildings or structures.
4. For the purpose of Section 3, “normal repairs” means the repair or replacement of non-structural elements, components or finishing materials of the buildings or structures with

elements, components or finishing materials that are equivalent to those being replaced in terms of heritage character, material composition, colour, dimensions and quality.

5. This Bylaw may be cited for all purposes as the “**Heritage Designation (Shady Creek Church – 7180 East Saanich Road) Bylaw No. 2153, 2023**”.

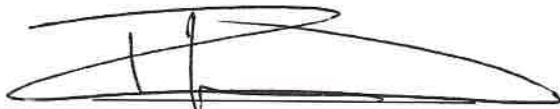
READ A FIRST TIME this      **25<sup>th</sup>**      day of      **September**      , 2023

READ A SECOND TIME this      **23<sup>rd</sup>**      day of      **October**      , 2023

PUBLIC HEARING HELD this      **14<sup>th</sup>**      day of      **November**      , 2023

READ A THIRD TIME this      **14<sup>th</sup>**      day of      **November**      , 2023

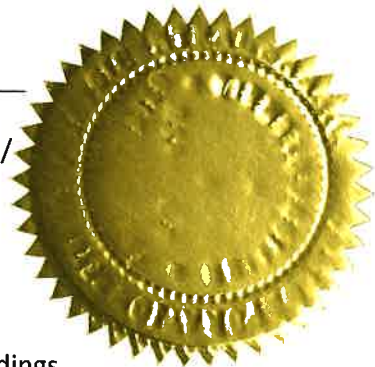
ADOPTED this      **14<sup>th</sup>**      day of      **November**      , 2023



Ryan Windsor  
Mayor



Emilie Gorman  
Director of Corporate Services/  
Corporate Officer



**Attachments:**

Schedule A – Heritage Designation of 7180 East Saanich Road and Church and Hall Buildings

**SCHEDULE A**

**Heritage Designation of 7180 East Saanich Road and Church and Hall Buildings**









# Central Saanich

## TEMPORARY USE PERMIT

Permit No. PL001757  
"7180 EAST SAANICH RD"

TO: [REDACTED]  
[REDACTED]  
[REDACTED]

(herein called "the Owner")

- 1) This Temporary Use Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto except as specifically varied or supplemented by this permit.
- 2) This Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

**Parcel Identifier: 029-755-379**

(herein called "the Lands")

- 3) Notwithstanding the Land Use Bylaw of the Municipality, Commissary Kitchen is hereby permitted as a Temporary Use on the Lands. A Commissary Kitchen is defined as:

*A commercial use providing for the preparation of food or beverages for consumption off-premises only, which does not offer sales or service to patrons on the premises, and which may be used by catering services, food delivery services, and similar uses.*

- 4) Approval of this Temporary Use Permit is subject to the condition that the Permit would remain valid only so long as the Owner obtain the following:
  - a. No grease laden fumes, food makers are to be small batch and low-level

- cooking operators.
  - b. No onsite restaurants or retail sales permitted.
  - c. Delivery is permitted subject to being delivered by the Commissary Kitchen operator.
  - d. Each Commissary Kitchen operator must be issued a business license prior to any commercial uses.
  - e. Capital Regional District regulations and health and safety forms must be completed prior to the issuance of a business license.
- 5) This Permit is issued on the condition that the Owner has provided to the Municipality security in the form of an irrevocable letter of credit to guarantee the performance of the terms of this Permit. This letter of credit shall be for the period from the date of issuance of this Permit to the date the Permit expires and shall be in the amount of \$5000.
- 6) Should the Owner fail to cease using the property for the Temporary Use hereby Permitted on or before the date of expiration of this Permit, or should the Owner fail to comply with the conditions of this Permit, then the entire amount of the security required above, shall be forfeited to the Municipality.
- 7) This Permit expires on .
- 8) Notice of this Permit shall be filed in the Land Title Office at Victoria, B.C. under subsection (1) of Section 927 of the *Local Government Act*, and upon such filing the terms of this Permit or any amendment hereto shall be binding on all persons who acquire an interest in the Land affected by this Permit.
- 9) The Lands shall be used strictly in accordance with the terms, conditions, and provisions of this Permit.
- 10) This Permit does not relieve the Owner of the responsibility to comply with applicable Acts, regulations, bylaws, decisions or orders of anybody having jurisdiction over the Lands.
- 11) This Permit is **not** a Building Permit.

**AUTHORIZING RESOLUTION PASSED BY THE MUNICIPAL COUNCIL ON THE <sup>TH</sup> DAY OF, 202\_\_.**

Permit Issuance Date:

Permit Expiration Date:

Signed in the presence of:

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Address of Witness

\_\_\_\_\_  
Occupation

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Address of Witness

\_\_\_\_\_  
Occupation

**THE CORPORATION OF THE  
DISTRICT OF CENTRAL SAANICH**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Ryan Windsor, Mayor

\_\_\_\_\_  
Emilie Gorman, Corporate Officer